



Southwest Ranches Town Council

REGULAR MEETING

Agenda of February 24, 2022

Southwest Ranches Council Chambers
7:00 PM Thursday

13400 Griffin Road
Southwest Ranches, FL 33330

<u>Mayor</u> Steve Breitreuz	<u>Town Council</u> Jim Allbritton Bob Hartmann David Kuczenski	<u>Town Administrator</u> Andrew D. Berns, MPA	<u>Town Attorney</u> Keith M. Poliakoff, J.D.
<u>Vice Mayor</u> Gary Jablonski		<u>Town Financial Administrator</u> Martin Sherwood, CPA CGFO	<u>Assistant Town Administrator/Town Clerk</u> Russell C. Muniz, MPA

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation, a sign language interpreter or hearing impaired to participate in this proceeding should contact the Town Clerk at (954) 434-0008 for assistance no later than four days prior to the meeting.

1. **Call to Order/Roll Call**
2. **Pledge of Allegiance**
3. **Presentations**
 - a. **District Boundary Review - Scott Burton-Rodriguez, Empire Consultants**
 - b. **NewGen Strategies and Solutions LLC - Allison Trulock**

Quasi-Judicial Hearings

Please be advised that the following item on the Council agenda is quasi-judicial in nature. All witnesses who will testify on any item in this portion of the Agenda will be sworn. Participants who are members of the general public need not be sworn and will not be subject to cross-examination if they are not sworn. However, the Council shall not assign un-sworn testimony the same weight or credibility as sworn testimony in its deliberations.

The applicant has the burden of proof. After the applicant's concluding remarks, the hearing will be closed and no additional testimony, material or argument will be allowed unless the Council chooses to request additional testimony. The members of the Town Council will then deliberate.

All evidence relied upon by reasonably prudent persons in the conduct of their affairs may be considered in these proceedings, regardless of whether such evidence would be admissible in a court. Hearsay evidence may supplement or explain other evidence, but shall not alone support a conclusion unless it would be admissible over objection in court. The material in the Town Council agenda will be considered as evidence without authentication.

Anyone representing an organization must present written evidence of his or her

authority to speak on behalf of the organization in regard to the matter under consideration. Each person who appears during a public hearing shall identify himself or herself and give their address, and if appearing on behalf of an organization state the name and mailing address of the organization. The Council may, on its own motion or at the request of any person, continue the hearing to a fixed date, time and place.

No notice shall be required if a hearing is continued to a fixed date, time and place. Any Applicant shall have the right to request and be granted one continuance; however, all subsequent continuance shall be granted at the discretion of the Council and only upon good cause shown.

4. RESOLUTION APPROVING AKAI ESTATES SITE PLAN MODIFICATION

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-82-22 TO MODIFY THE APPROVED AKAI ESTATES SITE PLAN LOCATED WITHIN THE TARA PLAT AT THE SOUTHWEST QUADRANT OF GRIFFIN ROAD AND UNIMPROVED SW 184TH AVENUE; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO PROPERLY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

5. Public Comment

- All Speakers are limited to 3 minutes.
- Public Comment will last for 30 minutes.
- All comments must be on non-agenda items.
- All Speakers must fill out a request card prior to speaking.
- All Speakers must state first name, last name, and mailing address.
- Speakers will be called in the order the request cards were received.
- Request cards will only be received until the first five minutes of public comment have concluded.

6. Board Reports

7. Council Member Comments

8. Legal Comments

9. Administration Comments

Ordinance - 1st Reading

- 10. AN ORDINANCE OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, VACATING, CLOSING AND ABANDONING PLATTED AND UNPLATTED PORTIONS OF AKAI DRIVE, SW 49TH STREET AND ASSOCIATED TURN LANE AND TURNAROUND EASEMENTS WITHIN THE TARA PLAT, RECORDED IN PLAT BOOK 162, PAGE 20 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; ACCEPTING THE GRANT OF AN INGRESS/EGRESS, DRAINAGE AND UTILITY EASEMENT IN PLACE OF THE ABANDONED PLATTED RIGHT-OF-WAY AND UNPLATTED INGRESS/EGRESS EASEMENT FOR AKAI DRIVE; ACCEPTING THE GRANT OF A RECREATIONAL TRAIL EASEMENT; AUTHORIZING THE PREPARATION AND EXECUTION OF**

EFFECTUATING DOCUMENTS; PROVIDING INSTRUCTIONS TO THE TOWN CLERK; PROVIDING FOR RECORDATION; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE. (APPLICATION NO. VC-31-22)

Resolutions

11. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, CONSENTING TO THE CITY OF COOPER CITY PROVIDING WATER SERVICES TO 5101 SOUTH FLAMINGO ROAD, REAL PROPERTY LYING WITHIN THE TOWN OF SOUTHWEST RANCHES, FLORIDA; PROVIDING THAT NO FURTHER EXPANSION OF SERVICE SHALL BE PERMITTED WITHOUT THE EXPLICIT WRITTEN CONSENT OF THE TOWN; PROVIDING FOR A CERTIFIED COPY OF THIS RESOLUTION TO BE FURNISHED TO THE CITY OF COOPER CITY; AND PROVIDING AN EFFECTIVE DATE.

12. Approval of Minutes

a. January 27, 2022 Regular Meeting

13. Adjournment

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.

This page
intentionally left blank



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Steve Breitkreuz, Mayor
Gary Jablonski, Vice Mayor
Jim Allbritton, Council Member
Bob Hartmann, Council Member
David Kuczenski, Council Member

Andrew D. Berns, MPA, Town Administrator
Keith M. Poliakoff, JD, Town Attorney
Russell Muniz, MPA, Assistant Town Administrator/Town Clerk
Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

COUNCIL MEMORANDUM

TO: Honorable Mayor Breitkreuz and Town Council
VIA: Andrew Berns, Town Administrator
FROM: Jeff Katims
DATE: 2/16/2022
SUBJECT: RESOLUTION APPROVING AKAI ESTATES SITE PLAN
MODIFICATION

Recommendation

Please refer to the staff report for recommended conditions should Council approve the application.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

A. Sound Governance

Background

The Petitioner requests approval to modify the Akai Estates site plan to reconfigure access to the site, update the entrance improvements to reflect what has been constructed, and expand the scope of the landscape plans.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims

ATTACHMENTS:

Description	Upload Date	Type
Resolution	2/16/2022	Resolution
Staff report	2/16/2022	Executive Summary
Site Plans	2/16/2022	Exhibit
Revision 6 Guardhouse	2/16/2022	Exhibit
Landscape plans for right-of-way	2/16/2022	Exhibit
Landscape plans-north sector	2/16/2022	Exhibit
Landscape plans - central sector	2/16/2022	Exhibit
Landscape plans - south sector	2/16/2022	Exhibit
Landscape plan - intersection	2/16/2022	Exhibit
Landscape detail sheet	2/16/2022	Exhibit
Mail Notice Radius Map	2/16/2022	Backup Material
Mail Notice Mailing List	2/16/2022	Backup Material

RESOLUTION NO. 2022-____

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-82-22 TO MODIFY THE APPROVED AKAI ESTATES SITE PLAN LOCATED WITHIN THE TARA PLAT AT THE SOUTHWEST QUADRANT OF GRIFFIN ROAD AND UNIMPROVED SW 184TH AVENUE; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO PROPERLY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council approved the Downey Equestrian Ranches Site Plan for 16 single-family homes on the Tara Plat in 2005 via Resolution No. 2005-051, which subsequently expired; and

WHEREAS, the Town Council approved the Akai Estates Site Plan for 16 single-family homes in 2017 via Resolution No. 2017-017 and again in 2019 via Resolution No. 2019-001 after the 2017 approval expired; and

WHEREAS, Akai Estates, LLC ("Petitioner") wishes to reconfigure the permanent access to the development and to modify the entrance improvements; and

WHEREAS, Application VC-31-22, to vacate various easement and rights-of-way in accordance with the revised permanent access configuration is pending Town Council consideration, and is necessary to authorize the changes in the site plan; and

WHEREAS, a delegation request to amend the Non Vehicular Access Line is pending Broward County approval and recordation in the Public Records of Broward County; and

WHEREAS, the proposed site plan modification will comply the development standards of the ULDC, subject to the conditions of approval set forth herein.

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

Section 2. That, at a duly noticed public hearing held on February 24, 2022, following the review of the staff report and all written and oral evidence received during the public hearing, the Town Council hereby approves Application No. SP-82-22 to modify the approved Akai Estates Site Plan, subject to satisfaction of the following conditions:

1. Council approval of accompanying Application No. VC-31-22 to vacate and to re-dedicate Akai Drive as an ingress/egress, drainage, and utilities easement, and to vacate SW 49th Street east of Akai Drive.
2. Petitioner shall grant a minimum 15-foot-wide recreational trail easement through SW 49th Street west of Akai Drive (if vacated per VC-31-22) and along the west side of the canal over the SBDD canal maintenance easement and portions of road easement where applicable, connecting to Griffin Road and providing an opening in the landscaping for access to and from Griffin Road. The access point at Griffin Road may be gated provided that the gate remains open from dusk to dawn, as may be further defined in the easement agreement. Step-ups shall be provided adjacent to the Griffin Road access and at the southern end of the trail easement, subject to design and location approval by the Town Administrator and the SBDD. The easement shall be planted with Bahiagrass, or if irrigated, St. Augustine sod, over a minimum one inch of topsoil. Petitioner shall either grade the easement to slope away from the canal, or install a lip at the top of bank to keep stormwater runoff from entering the canal, as approved by the SBDD. The easement shall provide for HOA maintenance of the trail, permissible gating, and indemnification of the Town, in a form acceptable to the Town Attorney. The HOA documents shall be amended to reflect these requirements and such amendments approved as to form by the Town Attorney.
3. Petitioner shall revise the landscape plans consistent with staff comments and to ensure trail users can access Griffin Road. Staff is authorized to approve landscape plan revisions.
4. The Petitioner, successors and assigns including but not limited to the HOA, shall be responsible for maintaining the private road and recreational trails within the plat and shall indemnify and hold the Town harmless for same.
5. Show lot lines extending to centerline of road south of lots 1-4, and address other minor staff comments, to be approved administratively.
6. The conditions set forth above shall be satisfied no later than March 28, 2022, and prior to issuance of any further building permits for a residence, provided that the Town Administrator may grant a single 30-day extension upon show of good cause. Failure to satisfy these conditions, within the timeframe set forth herein, shall cause this approval to be null and void.
7. No lot may be transferred in title unless Power of Attorney or other legal documents acceptable to the Town Attorney have been granted to Petitioner for purposes of obtaining and maintaining unity of control for approval and effectuating this site plan modification.
8. The SBDD approval is required for any plantings in drainage easements.
9. Broward County Highway Construction and Engineering Division approval is required for signage, landscaping and frontage road improvements within the Griffin Road Right-of-Way.
10. No gates or other barriers or hinderances to entry are permitted in conjunction with the guardhouse. Speed bumps or a similar device may be employed to slow cars

as they approach the guardhouse for the purpose of recording license plates, provided that vehicles, bicyclists and pedestrians shall not be required to stop, produce identification, or any other restriction or hinderance to entering and traversing Akai Drive, SW 49th Street and trail easements.

11. Construction of any models with associated signage and parking, and any construction trailer shall require permits and administrative approval.

Section 3. The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. This Resolution shall become effective its passage and adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest Ranches, Florida, this 24th day of February 2022, on a motion by _____ and seconded by _____.

Breitkreuz _____
Jablonski _____
Allbritton _____
Hartmann _____
Kuczenski _____

Ayes _____
Nays _____
Absent _____
Abstaining _____

Steve Breitkreuz, Mayor

ATTEST:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, J.D., Town Attorney

1001.930.01

TOWN OF SOUTHWEST RANCHES TOWN COUNCIL AGENDA REPORT

February 24, 2022

SUBJECT: Site Plan Application SP-82-22

LOCATION: Generally located at the southwest quadrant of Griffin Road and SW 184th Avenue.

**PETITIONER/
OWNER:** Akai Estates, LLC

AGENT: Schwebke-Shiskin & Associates, Inc.

LAND USE PLAN

DESIGNATION: Rural Ranches (1 DU / 2.0 net or 2.5 gross acres)

ZONING: A-1, Agricultural Estate District (1 DU/ 2.0 net or 2.5 gross acres)

PUBLIC NOTICE: Legal notice in newspaper, mail notice

EXHIBITS: Staff Report, Resolution, aerial photograph, site plan, mail notification map and mailing label list

BACKGROUND AND ANALYSIS

The Petitioner is requesting approval to modify the Akai Estates site plan to reconfigure access to the site, update the entrance improvements to reflect what has been constructed, and expand the scope of the landscape plans.

The revised plans reflect abandoning the temporary access from Griffin Road and the permanent intended and platted community entrance street from SW 184th Avenue, the latter of which would become an open space parcel for the community. An application to vacate the community entrance on 184th Avenue, associated turn lanes and the turnaround easement at the north end of the site accompanies the site plan application.

Broward County Highway Construction and Engineering Division has consented to the new access configuration and is currently processing an application to create an opening in the Non-Vehicular Access Line along Griffin Road. The permanent Griffin Road access will require Akai to construct an eastbound right turn lane into the project. Previously, Broward County

eliminated the requirement that the developer construct SW 184th Avenue and relocate the canal, and authorized temporary access from Griffin Road via a temporary frontage drive.

The proposed site plan reconfigures the entryway landscaping given the elimination of the frontage road, eliminates the proposed sign at 184th Avenue and Griffin Road, and reflects a guard house, modifications to the location, design and size of the entry feature and a 7-foot wall that separates the community entrance from Lot 1. All of the aforementioned improvements have been permitted and constructed, but not reflected on the approved site plan.

RECOMMENDATION

Staff recommends that the site plan modification not be approved without attaching the following conditions:

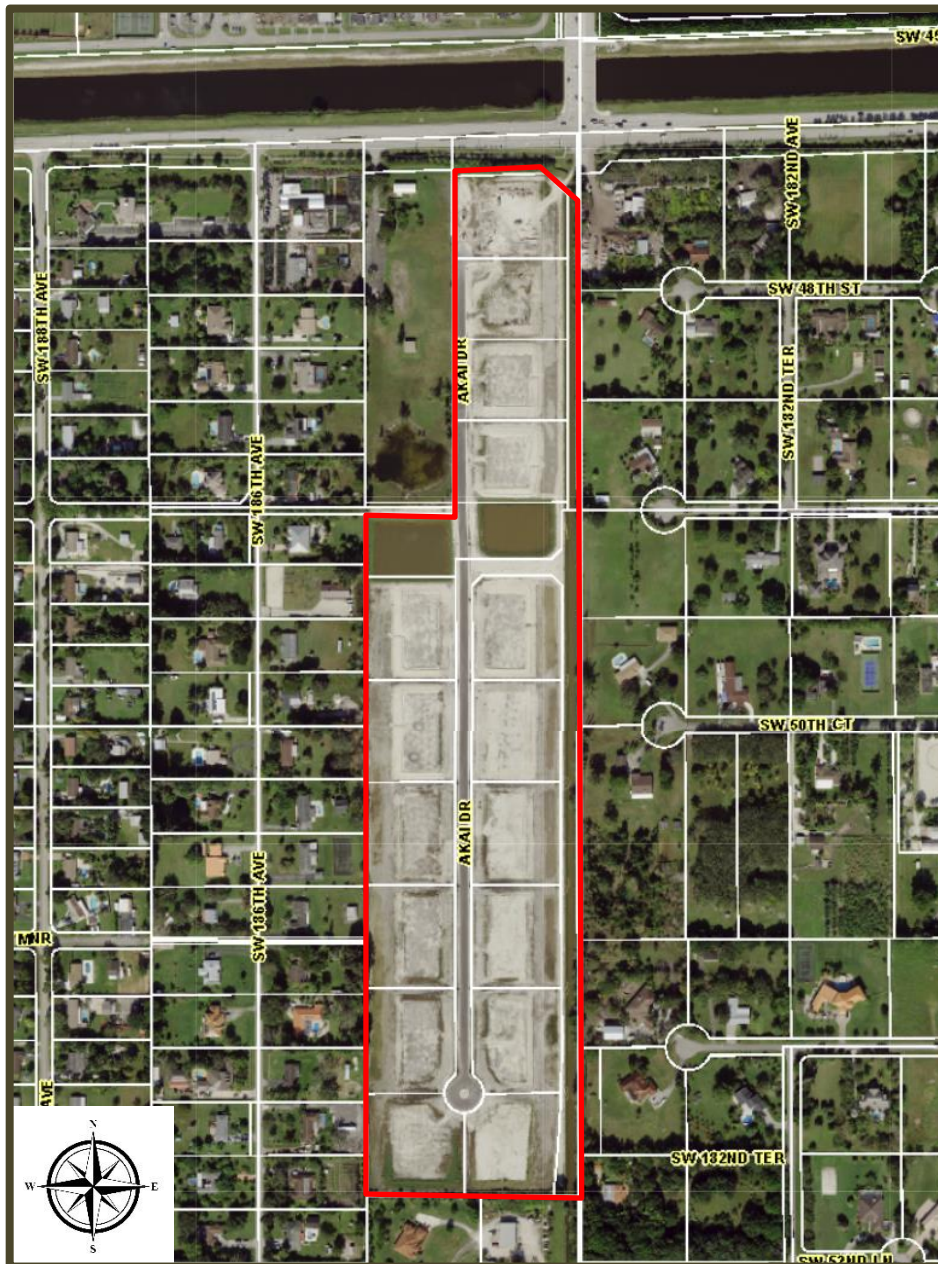
1. Council approval of accompanying Application No. VC-31-22 to vacate and to re-dedicate Akai Drive as an ingress/egress, drainage, and utilities easement, and to vacate SW 49th Street east of Akai Drive.
2. Petitioner shall grant a minimum 15-foot-wide recreational trail easement through SW 49th Street west of Akai Drive (if vacated per VC-31-22) and along the west side of the canal over the SBDD canal maintenance easement and portions of road easement where applicable, connecting to Griffin Road and providing an opening in the landscaping for access to and from Griffin Road. The access point at Griffin Road may be gated provided that the gate remains open from dusk to dawn, as may be further defined in the easement agreement. Step-ups shall be provided adjacent to the Griffin Road access and at the southern end of the trail easement, subject to design and location approval by the Town Administrator and the SBDD. The easement shall be planted with Bahiagrass, or if irrigated, St. Augustine sod, over a minimum one inch of topsoil. Petitioner shall either grade the easement to slope away from the canal, or install a lip at the top of bank to keep stormwater runoff from entering the canal, as approved by the SBDD. The easement shall provide for HOA maintenance of the trail, permissible gating, and indemnification of the Town, in a form acceptable to the Town Attorney. The HOA documents shall be amended to reflect these requirements and such amendments approved as to form by the Town Attorney.
3. Petitioner shall revise the landscape plans consistent with staff comments and to ensure trail users can access Griffin Road. Staff is authorized to approve landscape plan revisions.
4. The Petitioner, successors and assigns including but not limited to the HOA, shall be responsible for maintaining the private road and recreational trails within the plat and shall indemnify and hold the Town harmless for same.
5. Show lot lines extending to centerline of road south of lots 1-4, and address other minor staff technical comments, to be approved administratively.
6. The conditions set forth above shall be satisfied no later than March 28, 2022, and prior to issuance of any further building permits for a residence, provided that the Town Administrator may grant a single 30-day extension upon show of good cause.

Failure to satisfy these conditions, within the timeframe set forth herein, shall cause this approval to be null and void.

7. No lot may be transferred in title unless Power of Attorney or other legal documents acceptable to the Town Attorney have been granted to Petitioner for purposes of obtaining and maintaining unity of control for approval and effectuating this site plan modification.
8. The SBDD approval is required for any plantings in drainage easements.
9. Broward County Highway Construction and Engineering Division approval is required for signage, landscaping and frontage road improvements within the Griffin Road Right-of-Way.
10. No gates or other barriers or hinderances to entry are permitted in conjunction with the guardhouse. Speed bumps or a similar device may be employed to slow cars as they approach the guardhouse for the purpose of recording license plates, provided that vehicles, bicyclists and pedestrians shall not be required to stop, produce identification, or any other restriction or hinderance to entering and traversing Akai Drive, SW 49th Street and trail easements.
11. Construction of any models with associated signage and parking, and any construction trailer shall require permits and administrative approval.

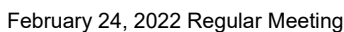
This page
intentionally left blank

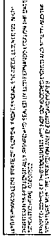
Exhibit "A"
Aerial Photo Location Map

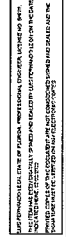


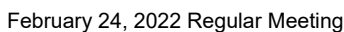
This page
intentionally left blank

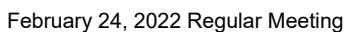


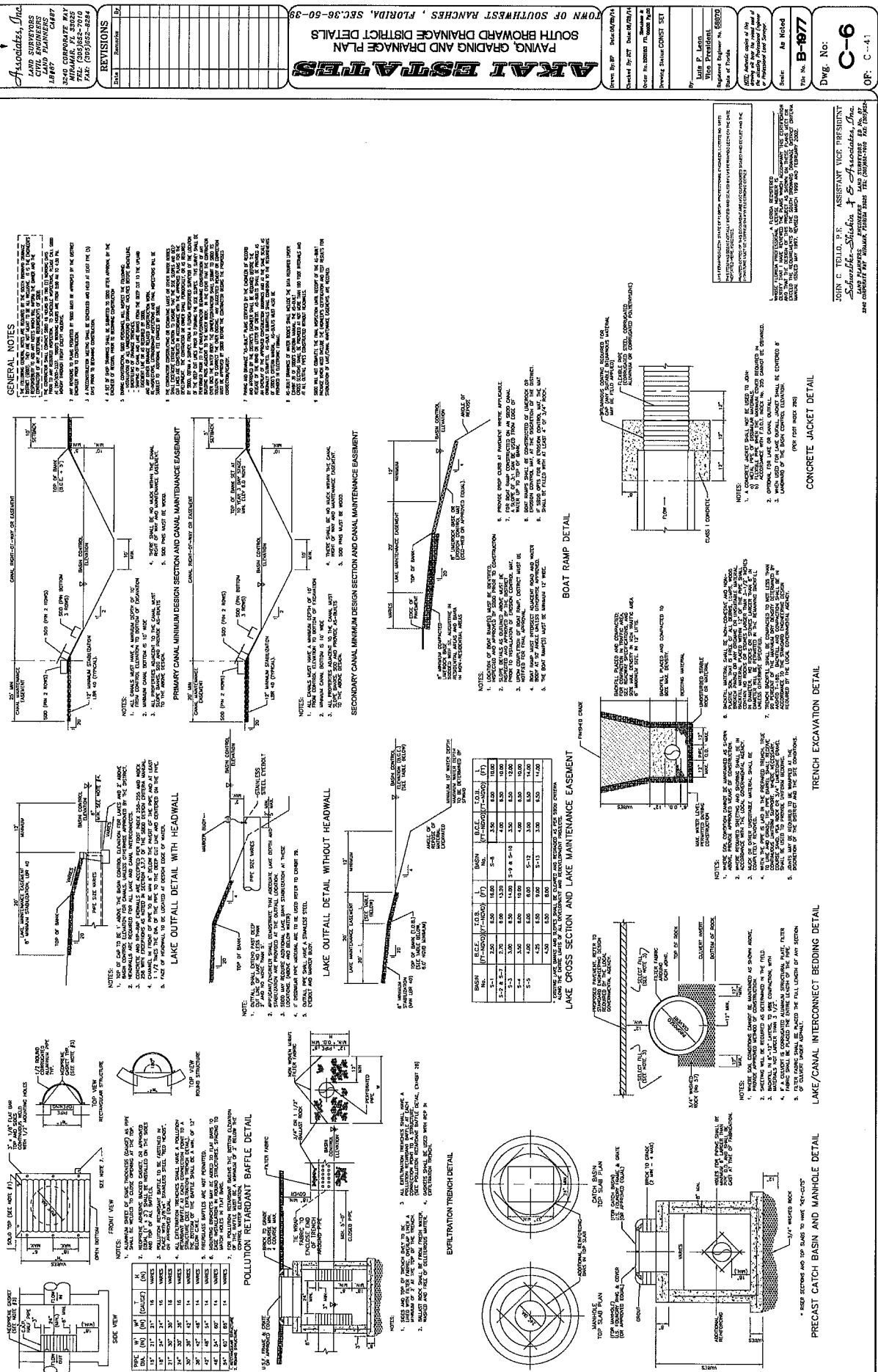


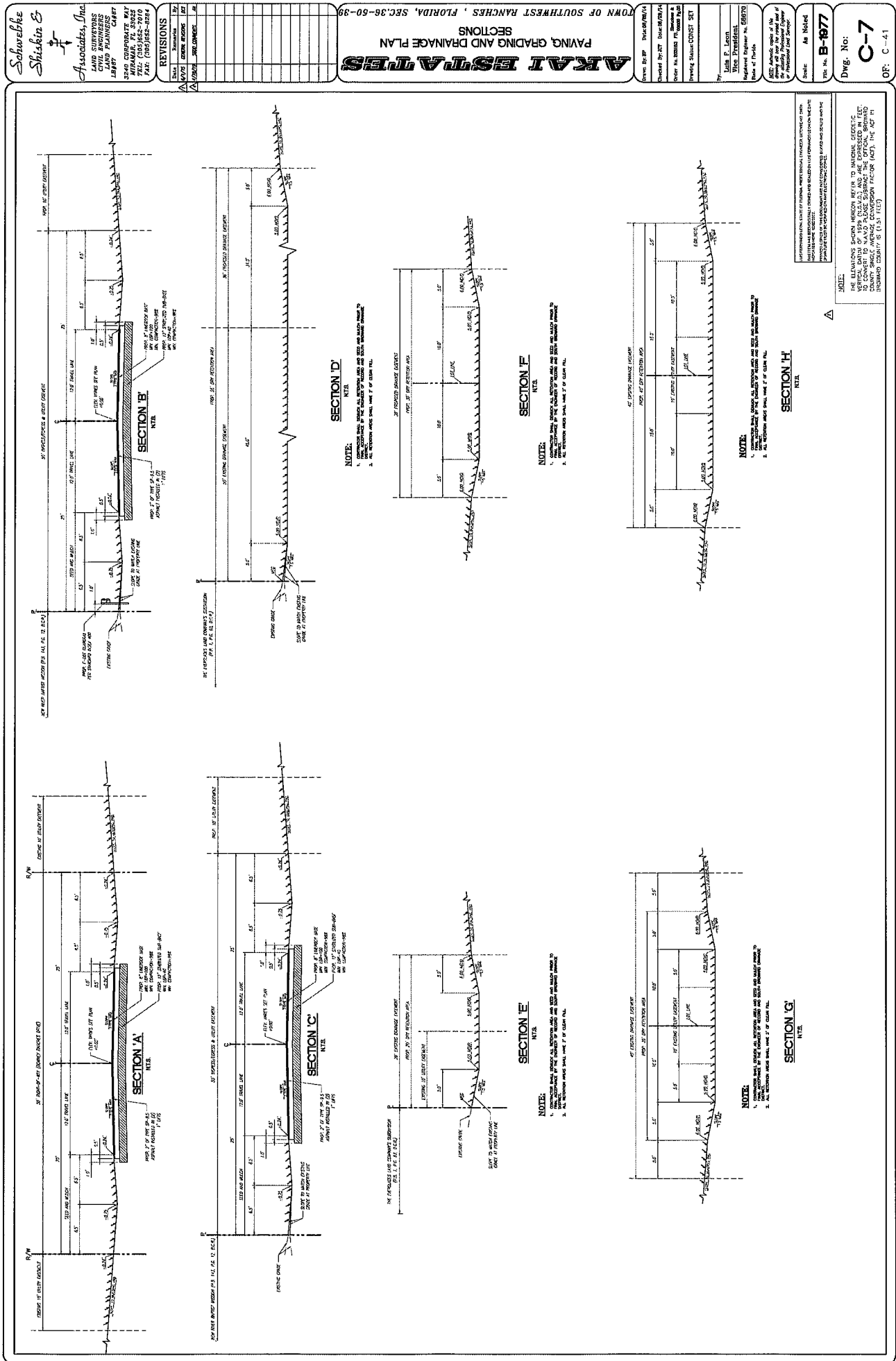












Schwabke Shuler & Associates, Inc.
 CIVIL ENGINEERS
 1000 CORPORATE WAY
 APT. 1000
 TAMPA, FL 33606
 TEL: (813) 988-7010
 FAX: (813) 988-7011

AKAI ESTATES
 PAVING, GRADING AND DRAINAGE PLAN
 SECTIONS
 TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC. 36-60-39

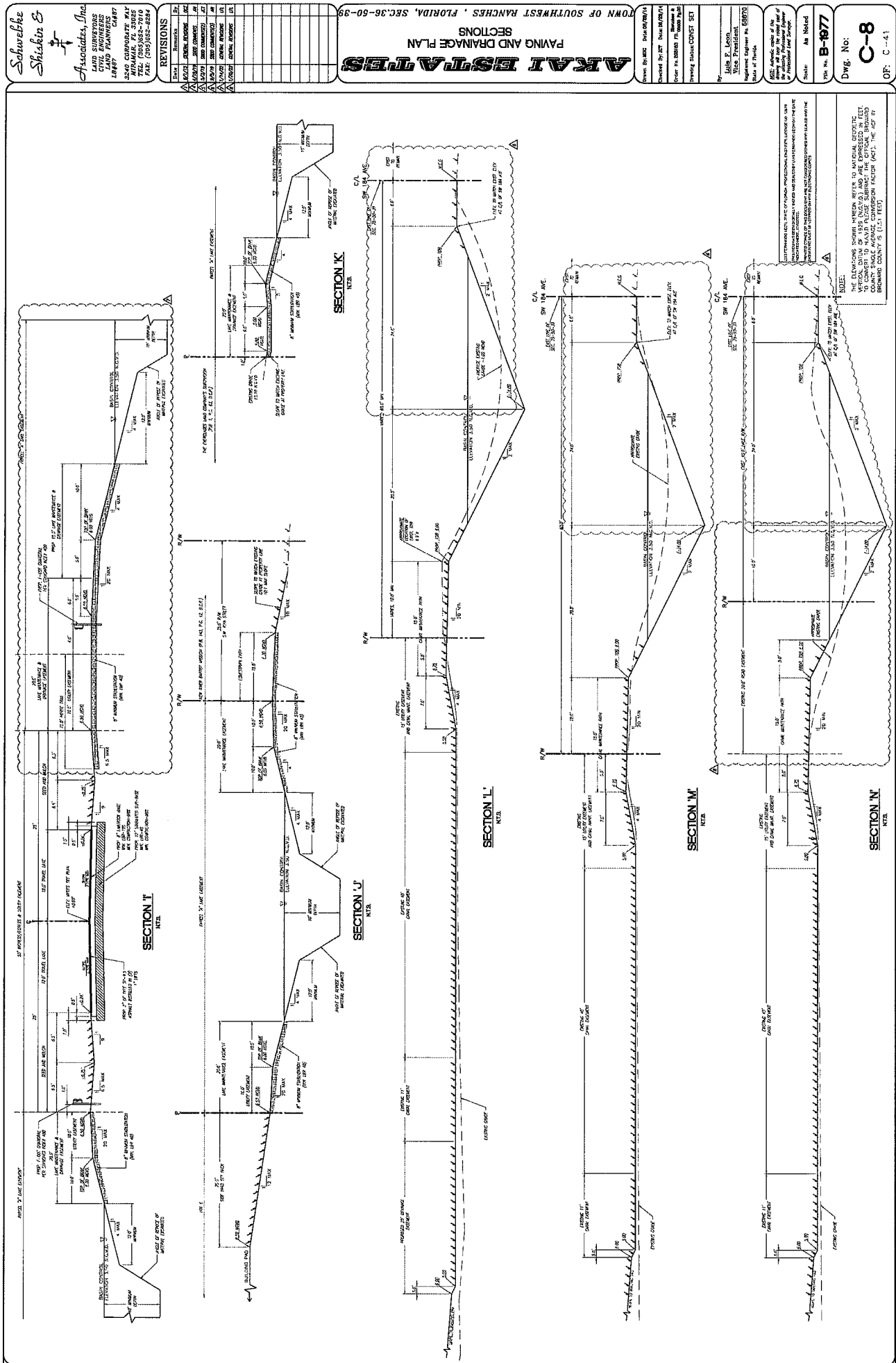
REVISIONS

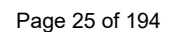
NO.	DATE	DESCRIPTION
1	01/11/22	ISSUED FOR PERMIT

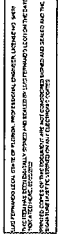
Project No. B-1977
 Date of Issue: 01/11/22
 Prepared By: J. L. Smith
 Checked By: J. L. Smith
 Drawn By: J. L. Smith
 Title: PAVING, GRADING AND DRAINAGE PLAN

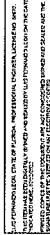
Scale: As Shown
 Date of Issue: 01/11/22
 Project No. B-1977
 Title: PAVING, GRADING AND DRAINAGE PLAN

Dwg. No. C-7
 OF: C-41









LAND SURVEYORS
CIVIL ENGINEERS
LAND PLANNERS
LB#87 CA#87
3240 CORPORATE WAY
MIRAMAR, FL 33025
TEL: (305)652-7010
FAX: (305)652-8284

[illegible]

ARKAI ESTATES
EROSION AND SEDIMENT CONTROL DETAILS
PLAN
TOWN OF SOUTHWEST RANCHES, FLORIDA, SEC.36-50-39

Received By: YK	Date: 04/22/16
Checked By: JZT	Date: 04/22/16
Order No. 000153	Shenzhen P.R. China P.O. Box 12
Drawing Name: CONST SET	
Luis F. Leon Vice President	
Registered Engineer No. 58870	

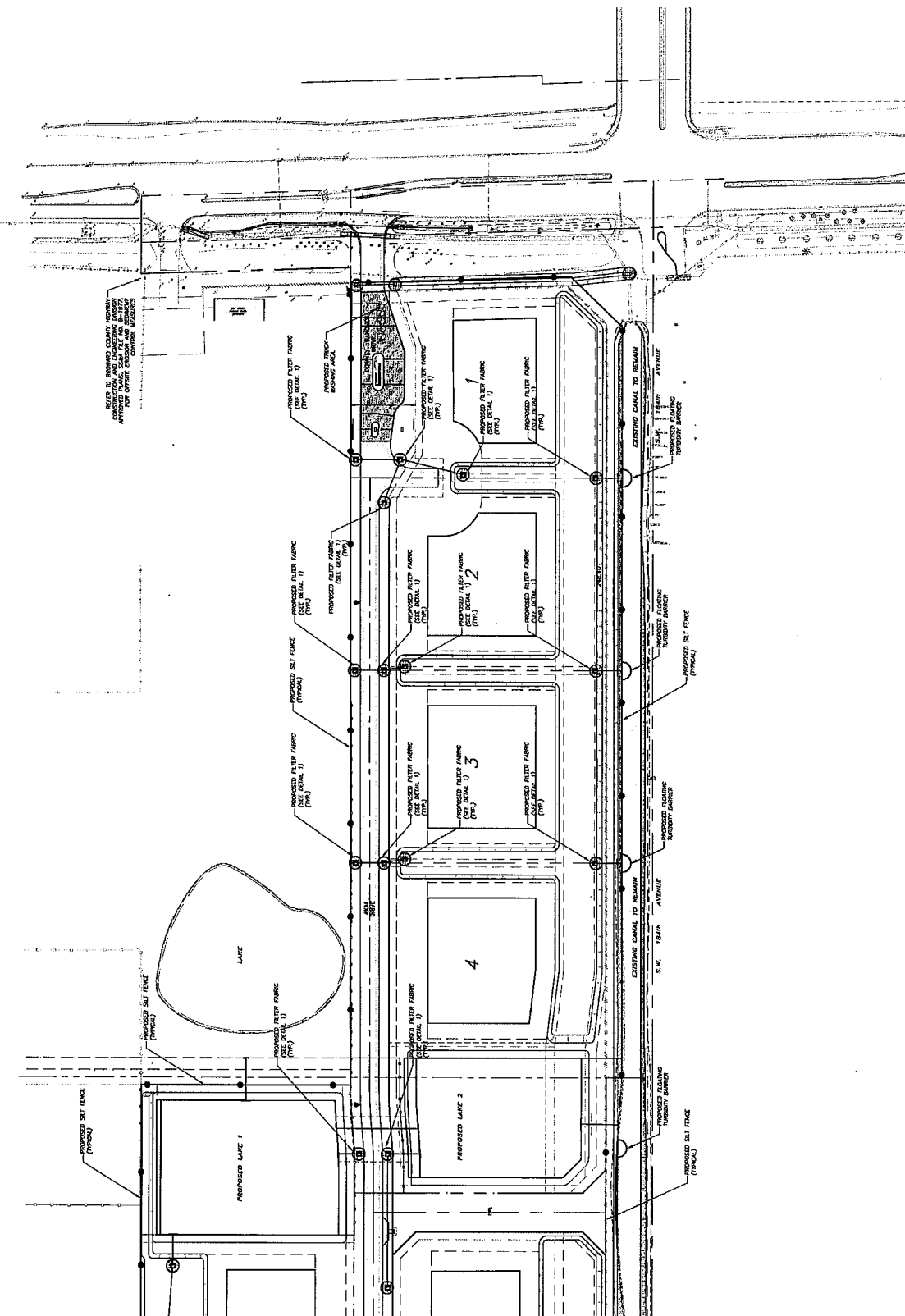
NOTE: Authentic copies of this drawing will bear the raised seal of the Licensing Professional Engineer

or Professional Land Surveyor.	
Sealer:	As Noted

File No. **B-1977**

Dwg. No:

C-15



Page 33 of 194

U.S. GOVERNMENT PRINTING OFFICE: 1974 O 241-104-7000

[illegible]

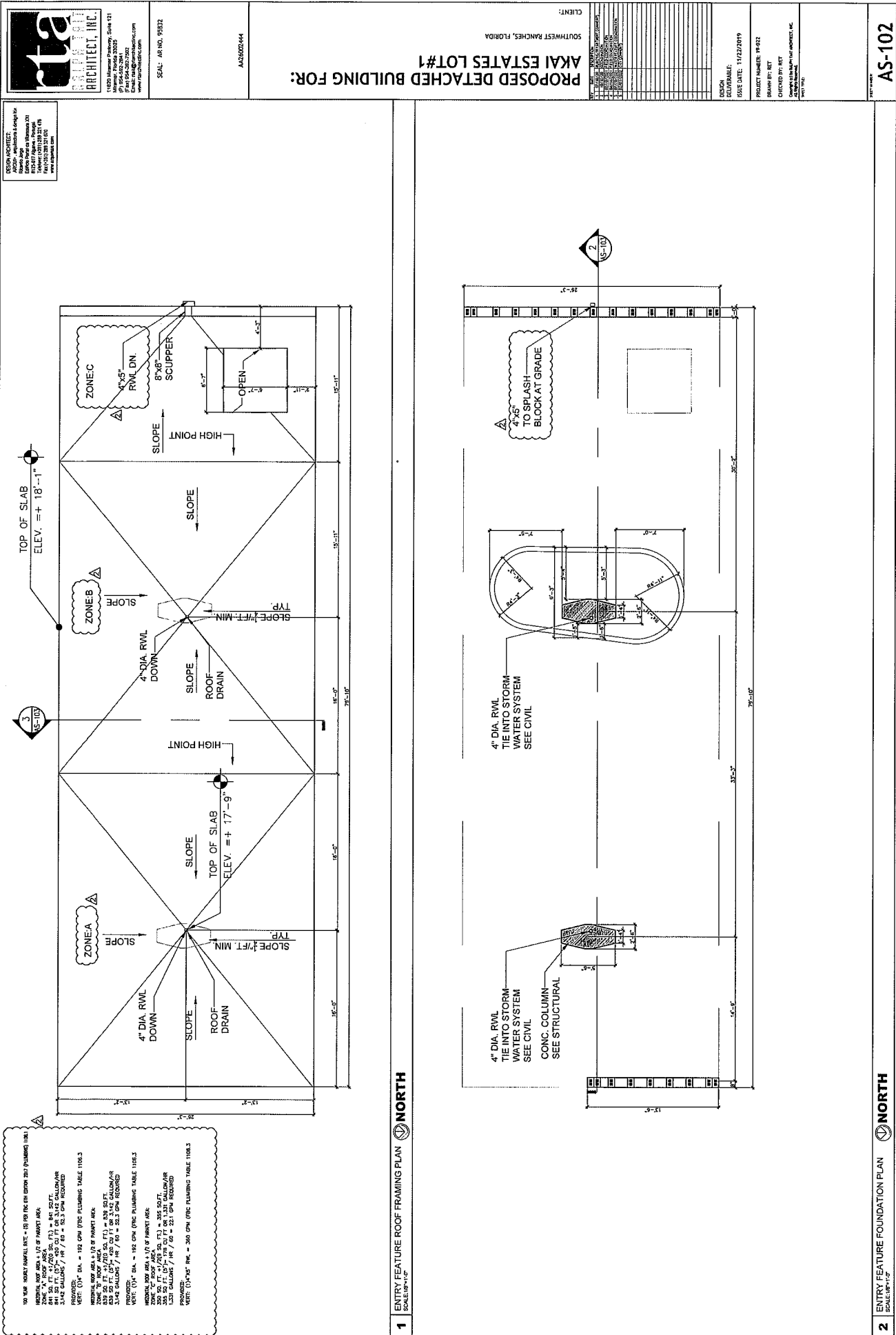
11800 Wilshire Boulevard, Suite 121
Beverly Hills, CA 90210
Tel: 310.274.2000
Fax: 310.274.2001
www.ctaarchitect.com

SEAL: AR NO. 98832
AA2002-444

PROPOSED GUARDHOUSE BUILDING FOR:
AKAI ESTATES LOT#1
SOUTHWEST RANCHES, FLORIDA

DESIGN: [blank]
DATE: 11/22/2019
PROJECT NUMBER: 19-022
DRAWN BY: J.J.
CHECKED BY: S.E.T.
OWNER: LISA NEWELL ARCHITECT, INC.
DRAWING SYMBOLS AND DRAWING LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	INTERIOR ELEVATION (SINGLE VIEW)	[Symbol]	INTERIOR ELEVATION (MULTIPLE VIEWS)
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[Symbol]	SECTION LINE
[Symbol]	SECTION LINE	[



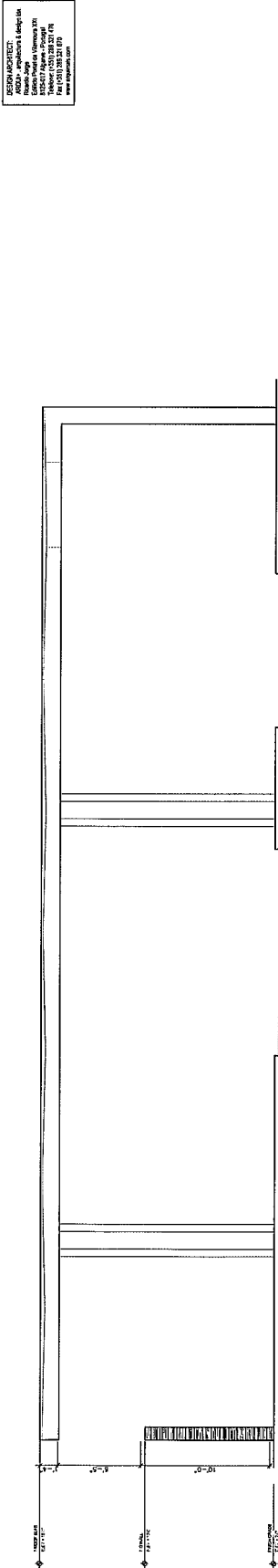
T&A ARCHITECT
 10000 E. Highway 1
 Suite 100
 Fort Worth, TX 76126
 Tel: (817) 331-1171
 Fax: (817) 331-1172
 www.tandarchitect.com

T&A ARCHITECT, INC.
 10000 E. Highway 1, Suite 100
 Fort Worth, TX 76126
 Tel: (817) 331-1171
 Fax: (817) 331-1172
 Email: info@tandarchitect.com
 www.tandarchitect.com

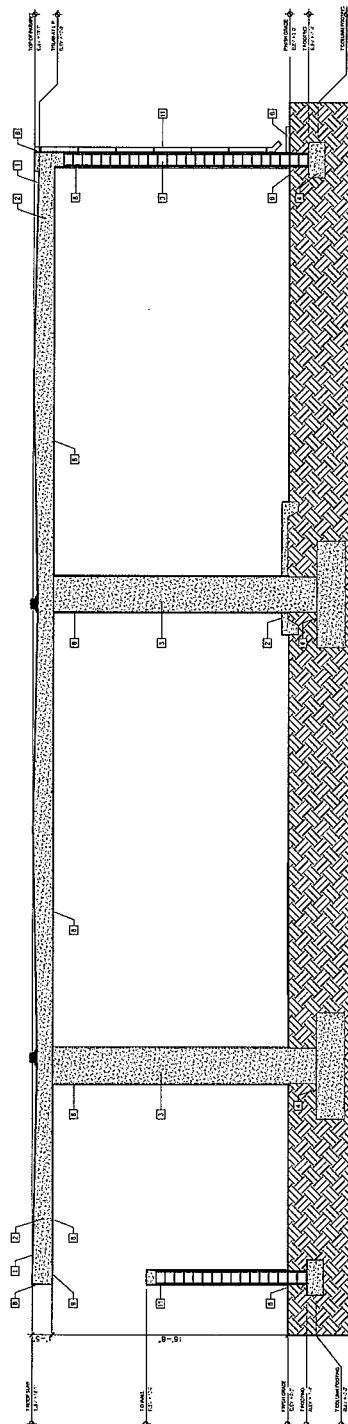
SCALE: AS NO. 99332

AS-103

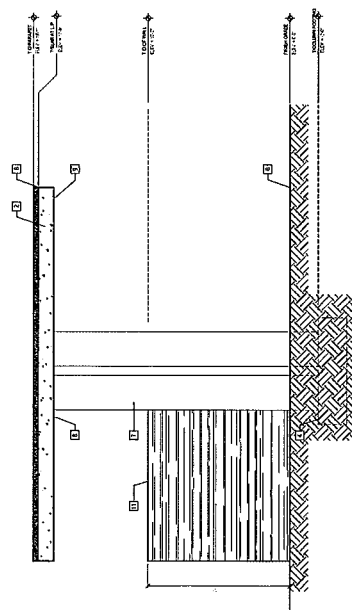
PROPOSED DETACHED BUILDING FOR:
 AKAI ESTATES LOT#1
 SOUTHWEST RANCHES, FLORIDA
 CLIENT:



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 ENTRY FEATURE SECTION
SCALE: 1/4" = 1'-0"


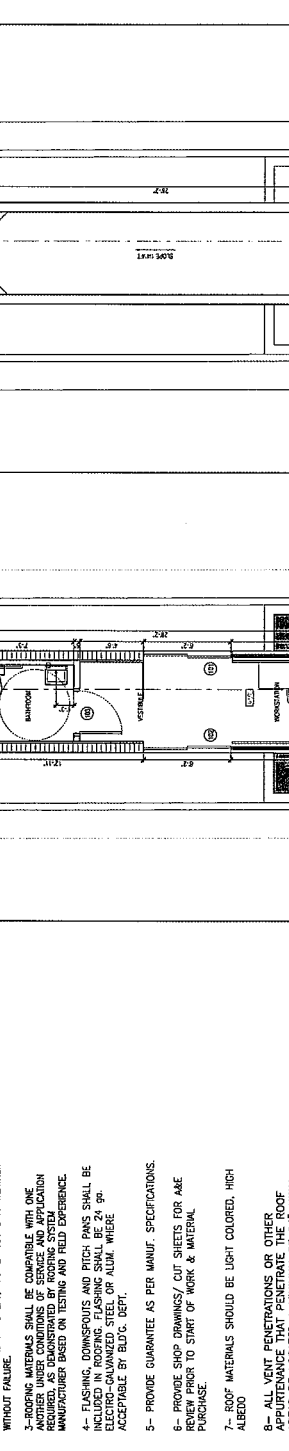
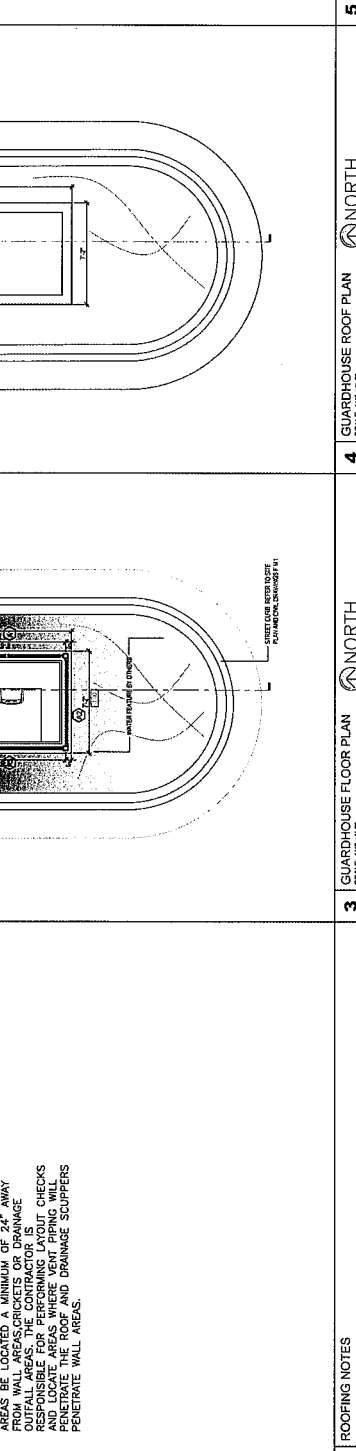


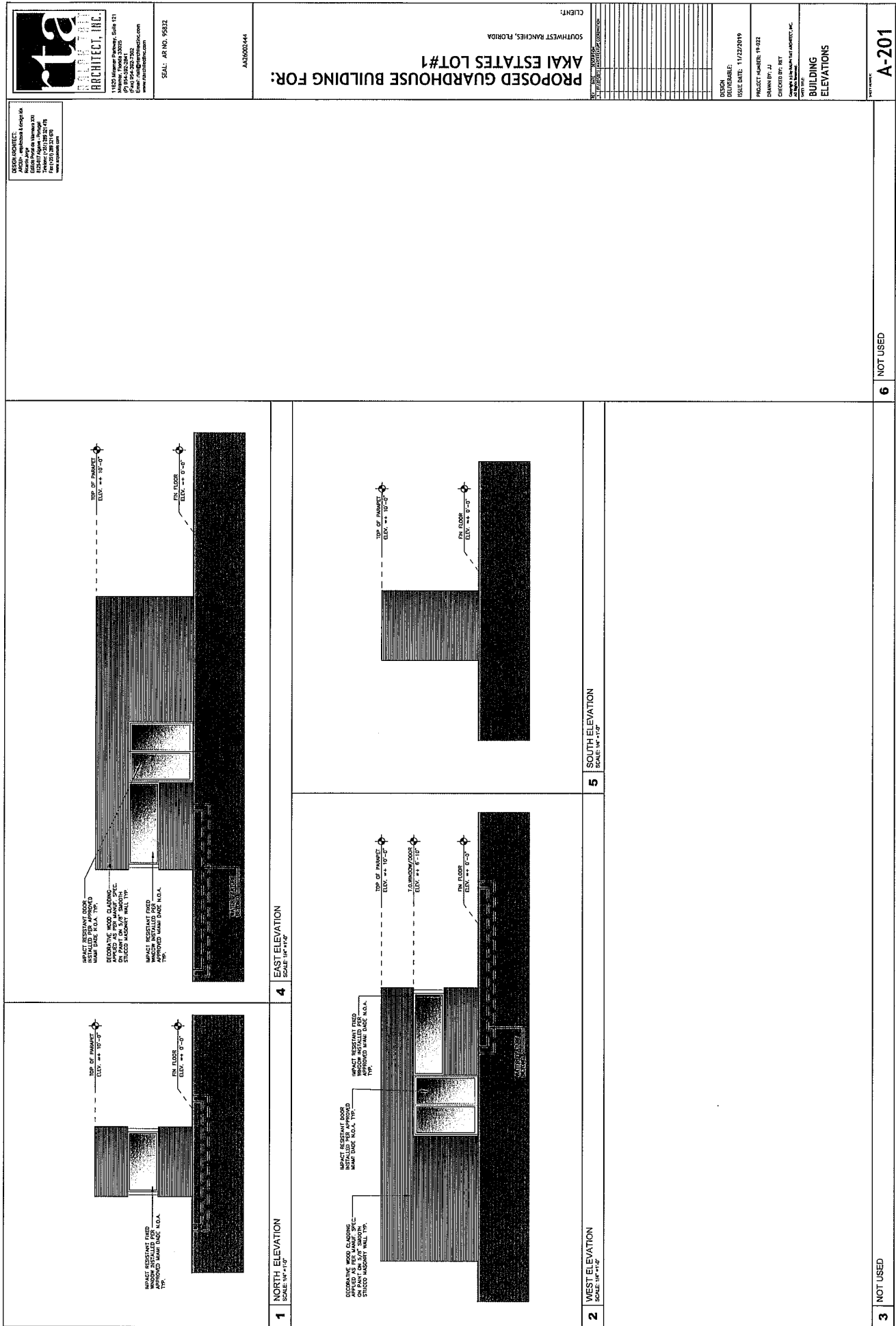
3 ENTRY FEATURE SECTION
SCALE: 1/4" = 1'-0"

1. SPILLAGE WALLS SHALL BE REINFORCED WITH STEEL BARS (AS SHOWN) AND CONCRETE SHALL BE 4000 PSI STRENGTH. WALLS SHALL BE 12\"/>
- 2. CONCRETE SHALL BE REINFORCED WITH STEEL BARS (AS SHOWN) AND CONCRETE SHALL BE 4000 PSI STRENGTH. WALLS SHALL BE 12\"/>
- 3. CONCRETE SHALL BE REINFORCED WITH STEEL BARS (AS SHOWN) AND CONCRETE SHALL BE 4000 PSI STRENGTH. WALLS SHALL BE 12\"/>
- 4. CONCRETE SHALL BE REINFORCED WITH STEEL BARS (AS SHOWN) AND CONCRETE SHALL BE 4000 PSI STRENGTH. WALLS SHALL BE 12\"/>
- 5. 4\"/>
- 6. 4\"/>
- 7. 4\"/>
- 8. 4\"/>
- 9. 4\"/>
- 10. 4\"/>
- 11. 4\"/>

3 KEYNOTES
SCALE: 1/4" = 1'-0"

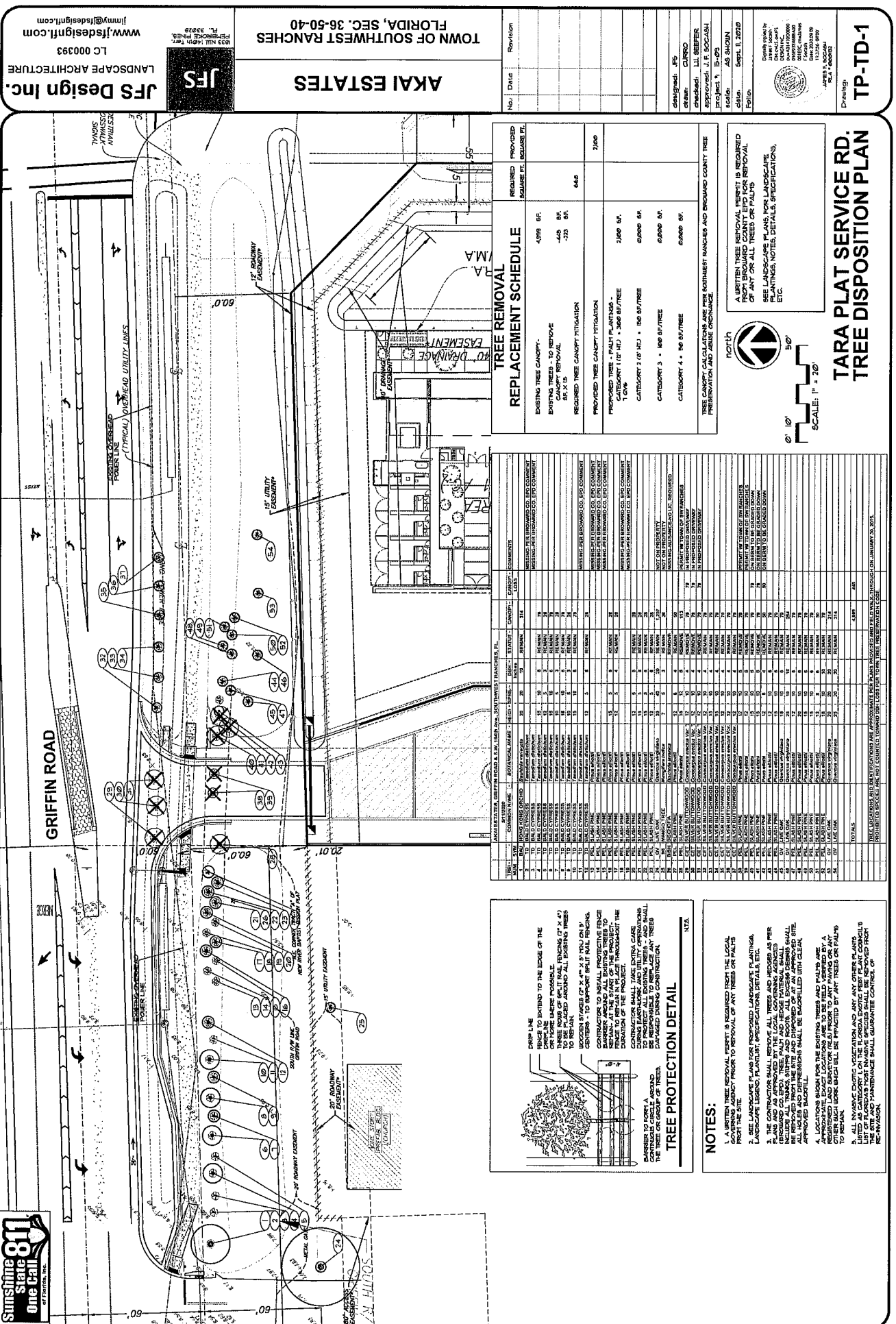
AS-103

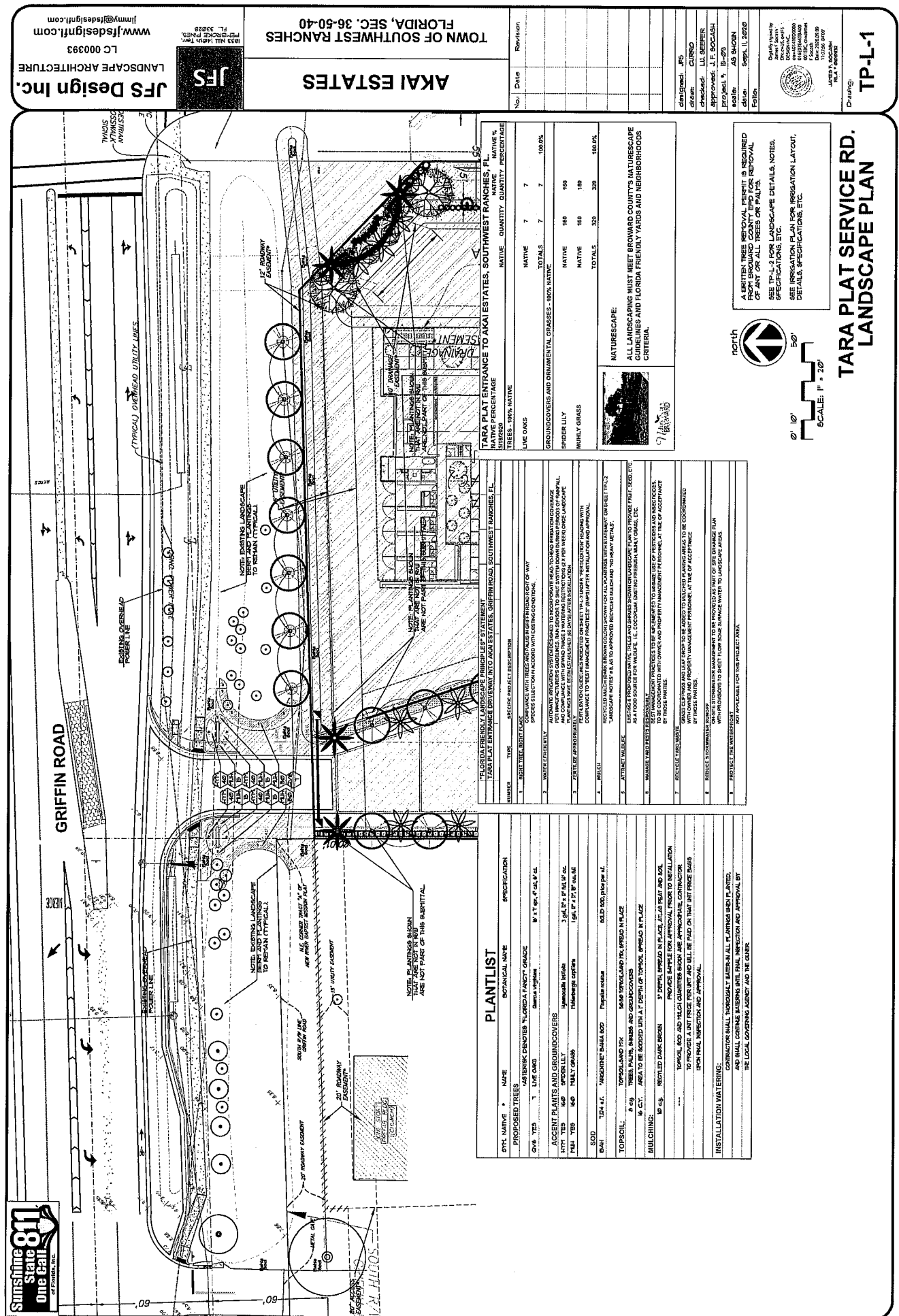
<div data-bbox="183 107 393 222">  <p>11180 University Parkway, Suite 121 Miami, FL 33198 (305) 554-5454 www.rtaarchitect.com</p> </div> <div data-bbox="183 222 393 548"> <p>DESIGN PROJECT: AKAI ESTATES Guardhouse & Ramp AKAI ESTATES 8120 SW 17th Avenue, #1000 Miami, FL 33155 Tel: (305) 554-5454 Fax: (305) 554-5455 www.rtaarchitect.com</p> </div> <div data-bbox="183 548 393 1990"> <p>NOTES: 1- WALL & CEILING FINISHES SHALL HAVE A SPREAD INDEX OF NOT GREATER THAN 450 - FBC 6TH EDITION 2017 2- ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE W/ ASTM E 84 OR UL723 - FBC 6TH EDITION 2017 3- ALL NEW CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION SHALL BE FLOOD DAMAGE RESISTANT MATERIAL AS PER ASCE 24-05 CHAPTER 5.0 4- ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL, AND PLUMBING) SERVING THE BUILDING SHALL BE FLOOD DAMAGE RESISTANT MATERIAL FLOOD ELEVATION AS PER ASCE 24-05 CHAPTER 7.0 5- FLOOD RESISTANT DESIGN AND CONSTRUCTION: CAT II AS PER ASCE 24-05 TABLE 1-3 6- ALL MECHANICAL & ELECTRICAL EQUIPMENT MUST BE INSTALLED HAVING THE BOTTOM OF THE EQUIPMENT ABOVE THE DFE 7- ENCLOSED AREAS BELOW THE DFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE AS PER ASCE 4.6.2</p> </div>	<div data-bbox="535 107 823 548"> <p>PROPOSED GUARDHOUSE BUILDING FOR: AKAI ESTATES LOT#1 SOUTHWEST RANCHES, FLORIDA CLIENT:</p> </div> <div data-bbox="535 548 823 1990"> <p>1 NOT USED</p> <p>ROOFING NOTES: 1- TPO SINGLE PLY ROOFING SYSTEM MECHANICALLY ATTACHED OVER 1" EXT. GRADE PLYWOOD OVER 1/2" OSB SHEATHING. ROOFING TO BE INSTALLED BY JOHNS MANVILLE OR APPROVED EQUIVALENT. R-10 MIN. BATT. INSULATION TO THE UNDERSIDE OF THE ROOF DECK TYP. PROVIDE MARI DADE COUNTY (M.D.C.) FOR ASCE TO REVIEW PRIOR TO INSTALLATION. INSTALLATION SHALL BE IN ACCORDANCE WITH MARI DADE COUNTY 2017 & MANUF. N.O.A./SPECIFICATIONS 2- INSTALLED ROOFING MEMBRANE SYSTEM SHALL REMAIN INTACT THROUGHOUT THE LIFE OF THE BUILDING. THERMALLY INDUCED MOVEMENT AND EXPOSURE TO WEATHER WITHOUT FAILURE. 3- ROOFING MATERIALS SHALL BE COMPATIBLE WITH ONE ANOTHER UNDER CONDITIONS OF SERVICE AND APPLICATION. MATERIALS SHALL BE SUBMITTED TO MANUFACTURER'S MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE. 4- FLASHING, DOWNSPOUTS AND PITCH PANS SHALL BE ELECTRO-GALVANIZED STEEL OR ALUM. WHERE ACCEPTABLE BY M.D.C. DEPT. 5- PROVIDE GUARANTEE AS PER MANUF. SPECIFICATIONS. 6- PROVIDE SHOP DRAWINGS / CUT SHEETS FOR ASCE REVIEW PRIOR TO START OF WORK & MATERIAL PURCHASE. 7- ROOF MATERIALS SHOULD BE LIGHT COLORED, HIGH ALBEDO 8- ALL VENT PENETRATIONS OR OTHER APPURTENANCE THAT PENETRATE THE ROOF AREAS BE LOCATED AT A MINIMUM OF 24" AWAY FROM THE EXTERIOR WALLS AND ALL VENTILATION OUTFALL AREAS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING LAYOUT CHECKS AND TOGETHER WITH THE ARCHITECT, DETERMINE WHERE EXISTING PIPING WILL PENETRATE WALL AREAS.</p> </div>	<div data-bbox="823 107 1110 548"> <p>GUARDHOUSE FLOOR PLAN SCALE 1/4" = 1'-0"</p> </div> <div data-bbox="823 548 1110 1990">  </div>	<div data-bbox="1110 107 1463 548"> <p>GUARDHOUSE ROOF PLAN SCALE 1/4" = 1'-0"</p> </div> <div data-bbox="1110 548 1463 1990">  </div>	<div data-bbox="1463 107 1476 548"> <p>ROOFING NOTES</p> </div> <div data-bbox="1463 548 1476 1990"> <p>NOTES</p> </div>
--	--	--	--	--





[illegible]



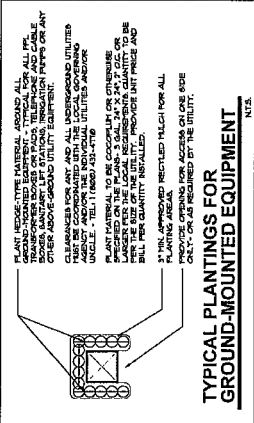


LANDSCAPE NOTES

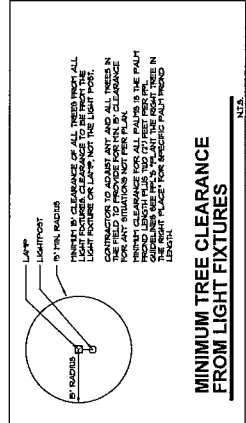
- [illegible]

**LANDSCAPE DETAILS,
NOTES, SPECS., ETC.**

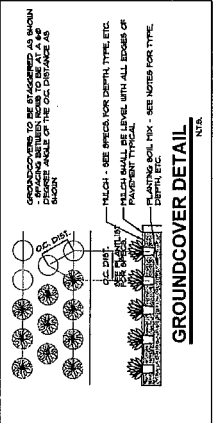
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT



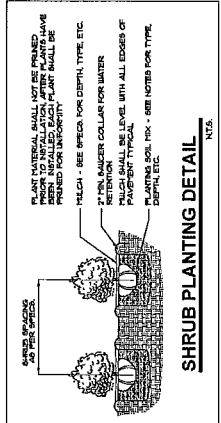
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES



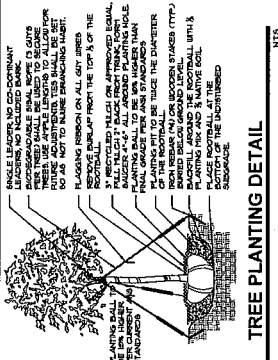
GROUND COVER DETAIL



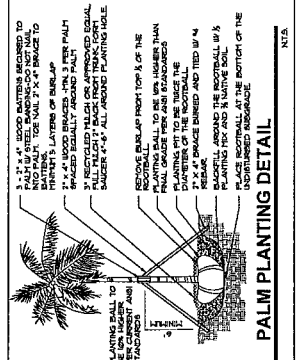
SHRUB PLANTING DETAIL



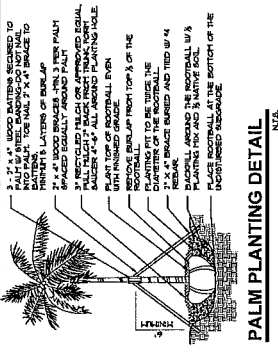
TREE PLANTING DETAIL



PALM PLANTING DETAIL



PALM PLANTING DETAIL



PLANTING SOIL:

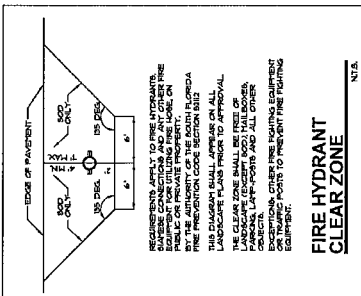
NOTE: ALL LANDSCAPED AREAS INCLUDING LANDSCAPE PLANTINGS SHALL BE EXCAVATED TO A DEPTH OF 3.0 FEET FOR REMOVAL OF ALL EXISTING MATERIAL, LIME ROCK, ETC. AND BACKFILLED WITH A CLEAN APPROVED BACKFILL. 4.000 TONFILL SHALL BE APPLIED TO A DEPTH OF 4.0 FEET FOR ALL PLANTING BEDS AND A MINIMUM FOR ALL OPEN AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND ATTENDED

FERTILIZATION:

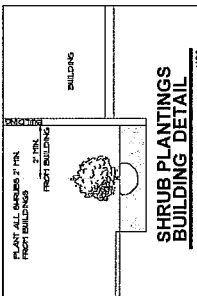
THE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL GRASS SEEDING. THE GRANULAR FERTILIZER SHALL BE APPLIED TO THE LAWN IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE FERTILIZER MANUFACTURER. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT ARCHITECT FOR ANNUAL FERTILIZATION PRIORS TO AN ANNUAL FERTILIZATION PROGRAM. THE FERTILIZER SHALL BE AN AT-LAWN, AT-LAWN FERTILIZER, CHEMICAL (ANIONIC OR CATIONIC) AND SHALL BE APPLIED IN AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 2-00-00 (APRIL - MAY) WATER IS LESS THAN 100 PSI. 10-00-00 (JUNE - JULY) WATER IS LESS THAN 100 PSI. 10-00-00 (AUGUST - SEPTEMBER) WATER IS LESS THAN 100 PSI. 10-00-00 (OCTOBER - NOVEMBER) WATER IS LESS THAN 100 PSI. 10-00-00 (DECEMBER - JANUARY) WATER IS LESS THAN 100 PSI.

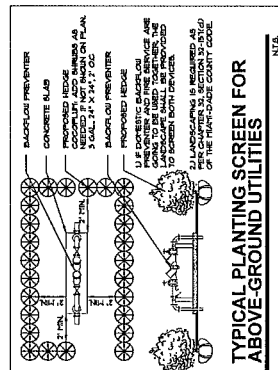
**FIRE HYDRANT
CLEAR ZONE**

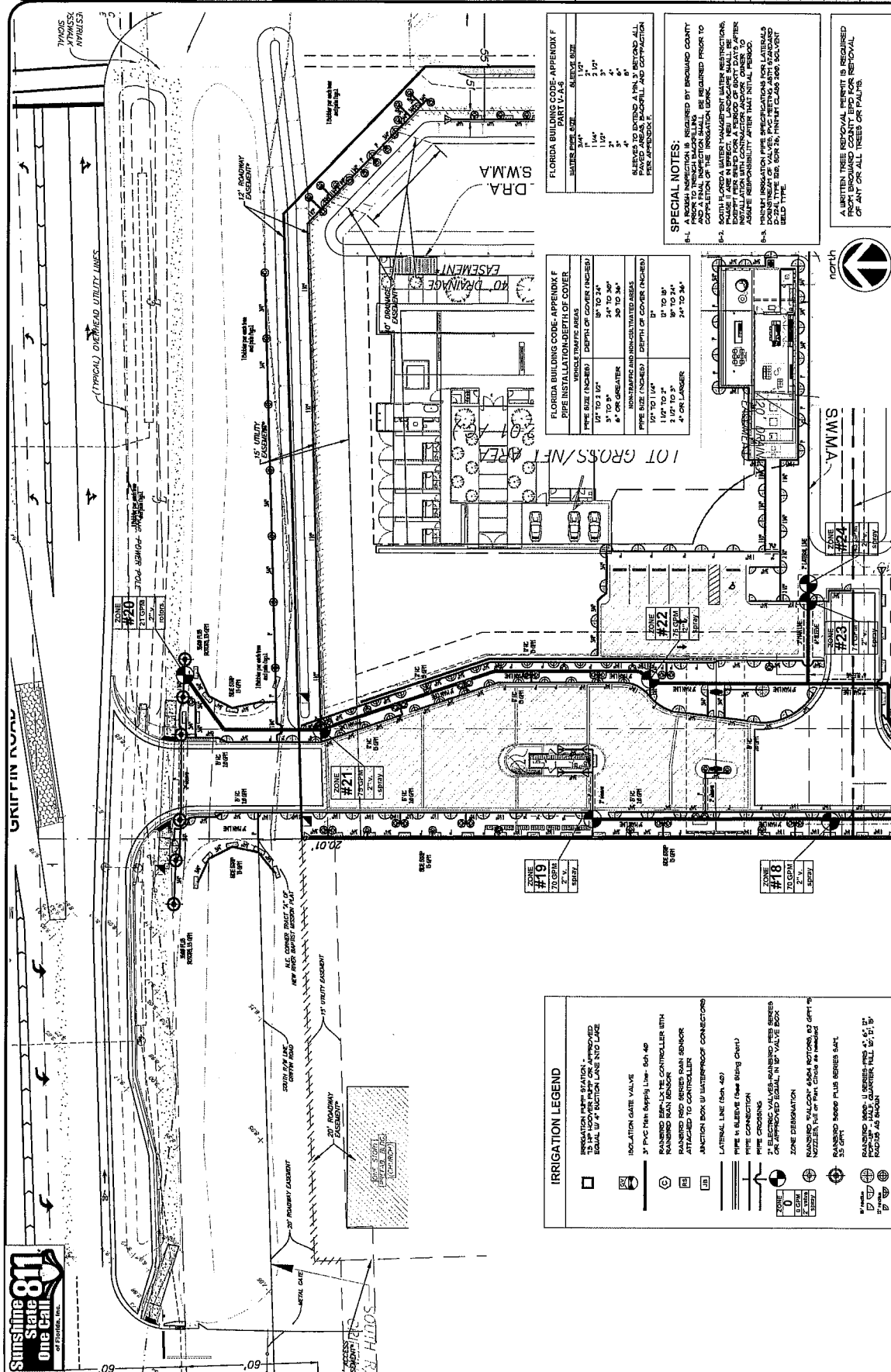


**SHRUB PLANTINGS
BUILDING DETAIL**



TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES



[illegible]

VEHICLE TRAFFIC AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/2"	18" TO 24"
2" TO 3"	24" TO 36"
4" OR GREATER	36" TO 36"

NON-TRAFFIC AND NON-CULTIVATED AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/4"	12"
1 1/2" TO 2"	12" TO 18"
2 1/2" TO 3"	18" TO 24"
4" OR LARGER	24" TO 36"

WATER PIPE SIZE	SEWER SIZE
3/4"	1 1/2"
1"	2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
3"	6"
4"	8"

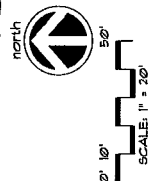
SLEEVES TO EXTEND A MIN. 3' BEYOND ALL PAVED AREAS, BACKFILL AND COMPACTION

SPECIAL NOTES:

SPECIAL NOTES:

1. A ROUGH INSPECTION IS REQUIRED BY BROWARD COUNTY INSPECTION DEPARTMENT PRIOR TO THE START OF THE INSPECTION WORK.
2. SOUTH FLORIDA WATER MANAGEMENT DISTRICT RESTRICTIONS, PHASE I ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PERMITTED FOR A PERIOD OF 90 DAYS AFTER NOTIFICATION WITH CONTRACTOR AND/OR OWNER TO ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.
3. MINOR INSPECTION FIRE SPECIFICATIONS FOR LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE 2001 AND 2002-1 TYPE DES. WORK. MINOR CLASS 500 AND OVER BELD TYPE.

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM BROWARD COUNTY EPD FOR REMOVAL OF ANY OR ALL TREES, OR PALMS.



**TARA PLAT SERVICE RD.
IRRIGATION PLAN**

Summary:

TP-IRR-1

Digitally signed by
James F. Socash
DN: cn=JF, ou=US
DL=SOCASH INC.,
c=US, o=JF SOCASH
001619381878A00
00159C, cn=James F
Socash
Date: 2020.09.29
11:27:56 -0700
JAMES F. SOCASH
JF@SOCASH
INC.

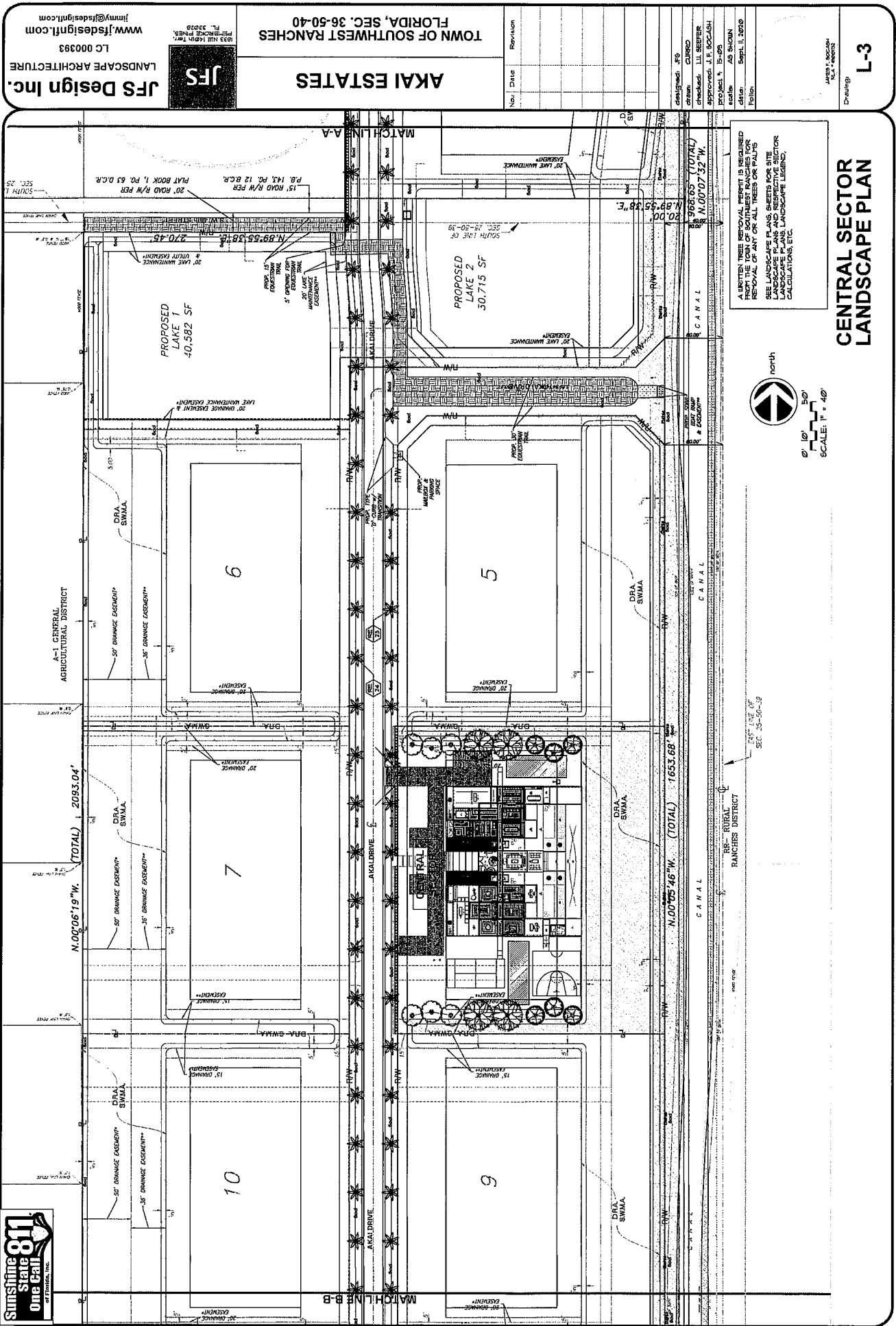
Assigned:	JF
Team:	CURS
Backed:	LU SIEFER
Approved:	J. F. SOGASH
Project #	15-09
Seller	AS SHOWN
Issue:	Sept. 11, 2020
Bill:	

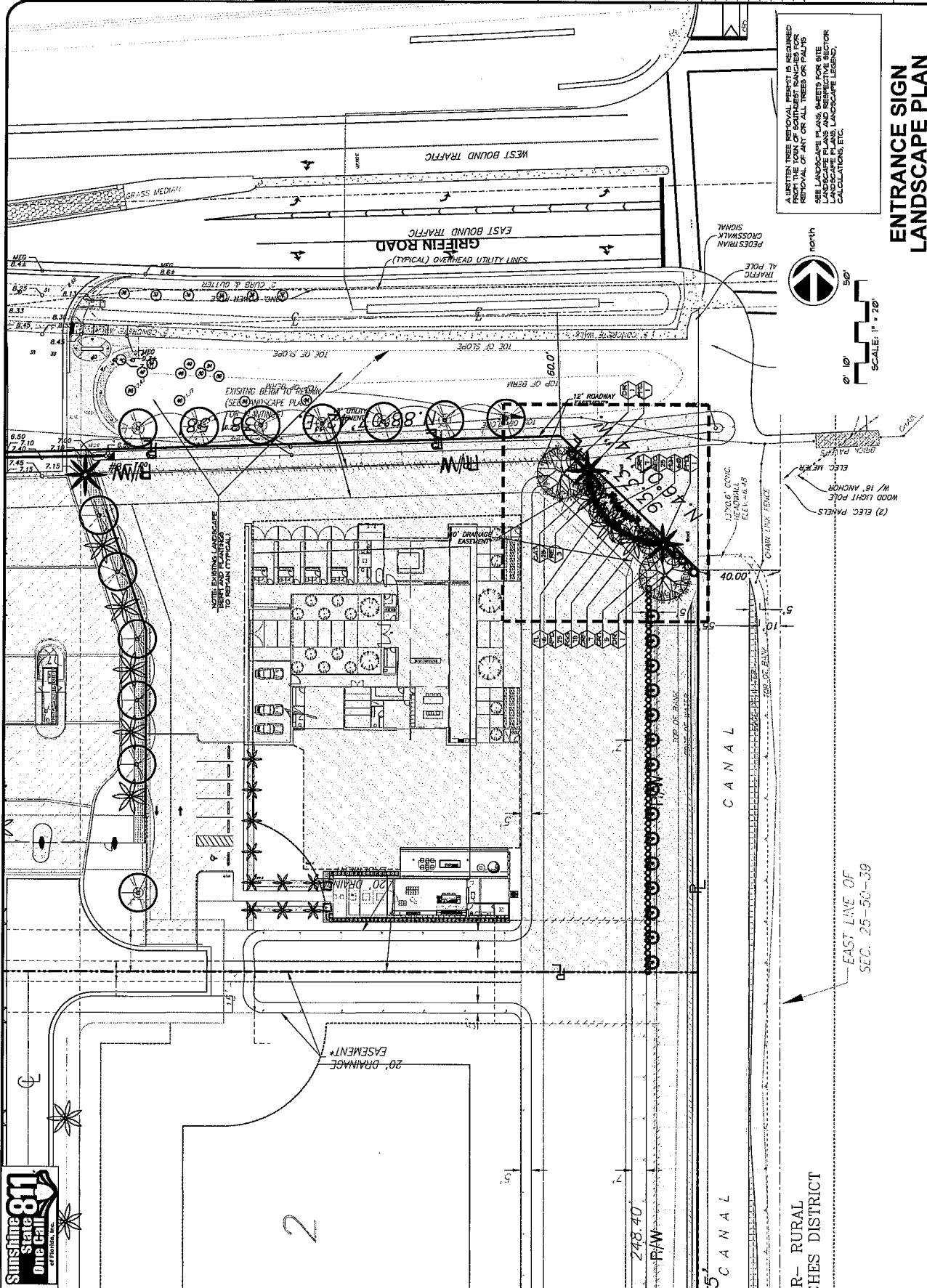
No.	Date	Revision
-----	------	----------

AKAI ESTATES

JFS

JFS Design Inc.
LANDSCAPE ARCHITECTURE
LC 000393
www.jfsdesignll.com
jimmy@jfsdesignll.com



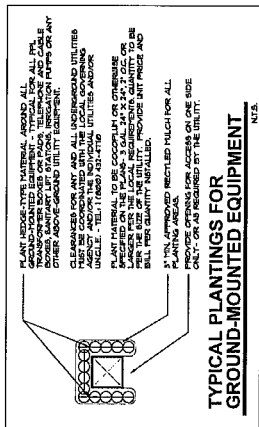


LANDSCAPE NOTES

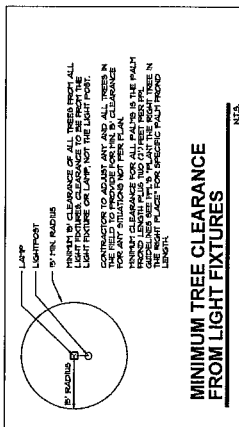
1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
2. CONTRACTOR SHALL FURNISH BERRIES (UP TO THE LOCATION OF AND BEING PLANTED) TO THE LANDSCAPE CONTRACTOR. THE BERRIES AND ACID AND PROTECTANT JELLY, BERRY CANNER, AND OTHER MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE PLANTED IN ACCORDANCE WITH THE LANDSCAPE CONTRACTOR'S RECOMMENDATIONS.
3. ALL PLANTING SOIL SHALL BE BERMUDA TOPSOIL, THE FREE OF CLAY, ROCKS, STONES, OR OTHER FOREIGN MATERIALS. THE PREPARATION INCLUDES THE REMOVAL OF ALL EXISTING PLANT MATERIAL AND THE ADDITION OF A 6" DEPTH OF BERMUDA TOPSOIL TO THE PLANTING AREA.
4. 7" DEPTH PLANTING SOIL, SPREAD IN PLACE, THROUGHOUT.
5. 6" DEPTH PLANTING SOIL, SPREAD IN PLACE, THROUGHOUT.
6. 5" DEPTH PLANTING SOIL, SPREAD IN PLACE, THROUGHOUT.
7. 4" DEPTH PLANTING SOIL, SPREAD IN PLACE, THROUGHOUT.
8. 3" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
9. 2" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
10. 1" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
11. 1/2" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
12. 1/4" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
13. 1/8" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
14. 1/16" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
15. 1/32" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
16. 1/64" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
17. 1/128" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
18. 1/256" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
19. 1/512" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
20. 1/1024" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
21. 1/2048" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
22. 1/4096" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
23. 1/8192" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
24. 1/16384" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
25. 1/32768" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
26. 1/65536" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
27. 1/131072" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
28. 1/262144" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
29. 1/524288" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
30. 1/1048576" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
31. 1/2097152" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
32. 1/4194304" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
33. 1/8388608" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
34. 1/16777216" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
35. 1/33554432" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
36. 1/67108864" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
37. 1/134217728" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
38. 1/268435456" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
39. 1/536870912" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
40. 1/1073741824" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
41. 1/2147483648" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
42. 1/4294967296" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
43. 1/8589934592" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
44. 1/17179869184" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
45. 1/34359738368" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
46. 1/68719476736" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
47. 1/137438953472" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
48. 1/274877906944" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
49. 1/549755813888" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
50. 1/1099511627776" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
51. 1/2199023255552" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
52. 1/4398046511104" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
53. 1/8796093022208" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
54. 1/17592186044416" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
55. 1/35184372088832" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
56. 1/70368744177664" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
57. 1/140737488355328" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
58. 1/281474976710656" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
59. 1/562949953421312" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
60. 1/1125899906842624" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
61. 1/2251799813685248" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
62. 1/4503599627370496" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
63. 1/9007199254740992" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
64. 1/18014398509481984" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
65. 1/36028797018963968" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
66. 1/72057594037927936" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
67. 1/144115188075855872" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
68. 1/288230376151711744" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
69. 1/576460752303423488" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
70. 1/1152921504606846976" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
71. 1/2305843009213693952" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
72. 1/4611686018427387904" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
73. 1/9223372036854775808" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
74. 1/18446744073709551616" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
75. 1/36893488147419103232" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
76. 1/73786976294838206464" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
77. 1/147573952589676412928" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
78. 1/295147905179352825856" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
79. 1/590295810358705651712" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
80. 1/1180591620717411303424" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
81. 1/2361183241434822606848" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
82. 1/4722366482869645213696" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE DEPTH OF THE PLANTING AREA, THROUGHOUT.
83. 1/9444732965739290427392" DEPTH PLANTING SOIL, SPREAD IN PLACE, OR TO THE

**LANDSCAPE DETAILS,
NOTES, SPECS., ETC.**

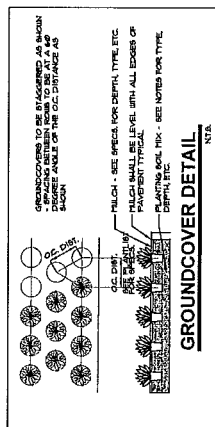
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT



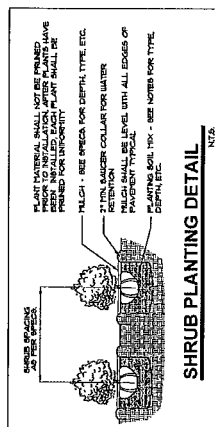
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES



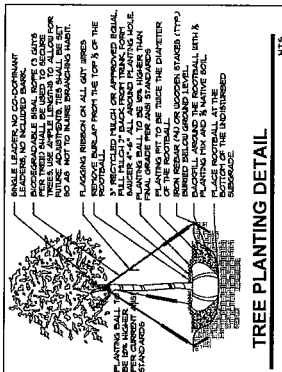
GROUND COVER DETAIL



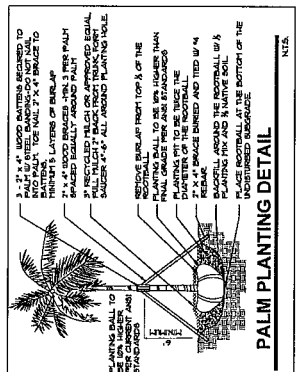
SHRUB PLANTING DETAIL



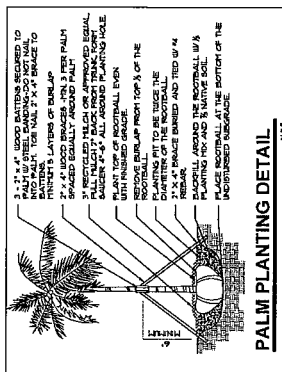
TREE PLANTING DETAIL



PALM PLANTING DETAIL



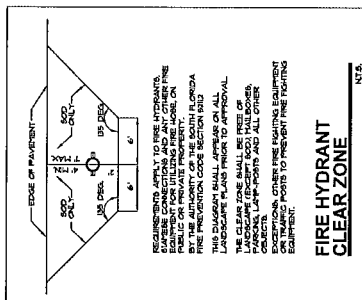
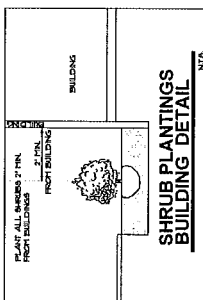
PALM PLANTING DETAIL



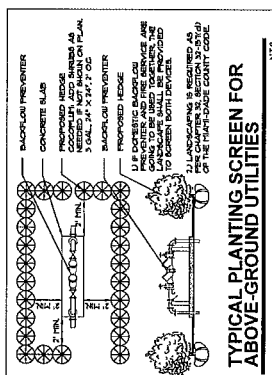
FERTILIZATION:

- [illegible]

**FIRE HYDRANT
CLEAR ZONE**

SHRUB PLANTINGS
BUILDING DETAIL

TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES



This page
intentionally left blank

FOLIO_NUMB	NAME	ADDRESS_LI
503925020060	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503925020081	CULBERTSON,ROXANNEROXANNE CULBERTSON TR	4800 SW 186 AVE
503925020082	RITTER,GUY N & PATRICIA ARITTER LIV TR	4821 SW 186 AVE
503925020083	MCKINNEY,R R & VIRGINIA F	4810 SW 186 AVE
503925020084	SUAREZ,SERGIO RAFAEL & ANNETTE	4881 SW 186 AVE
503925020085	CHRIST COVENANT CHURCH INC	4700 SW 188 AVE
503925020086	CAYNE,GARY	6304 HIATUS RD
503925020087	TAYLOR,GEORGE E & JOYCE A	4880 SW 186 AVE
503925020088	QUINTERO,FELIX R H/EPEREZ,ADA A	4910 SW 186 AVE
503925020089	AMEZQUITA,HAYDEE	780 SW 167 AVE
503925020091	EMMAUS PROPERTY HOLDINGS LLC	4700 SW 186 AVE
503925020092	CHRIST COVENANT CHURCH INC	4700 SW 188 AVE

503925020097	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP
503925020100	REBOLLOSO,LOUIS A & PATRICIA V	4921 SW 186 AVE
503925020130	SOUTH FLORIDA WATER MANAGEMENTDISTRICT	PO BOX 24680
503925030010	FRANCIS,CHANDRAMA H/EFANCIS,RENICK	4701 SW 188 AVE
503925030020	EASTMAN,JOHN W	4801 SW 188 AVE
503925030030	KANTNER,TANYA L	4811 SW 188 AVE
503925030040	VILLA,JOSE V	4821 SW 188 AVE
503925030050	SANDEFUR,WILLIAM JR & MARSHA	4831 SW 188 AVE
503925030060	REYNOLDS,DAMON & ELISABETH	4841 SW 188 AVE
503925030070	STRINGER,DONALD &STRINGER,MELINDA	4851 SW 188 AVE
503925030080	CONNER,EUGENE K & ELIZABETH A	4901 SW 188 AVE
503925030090	AMODIE,WAYNE K JRAMODIE,SHERESE	4911 SW 188 AVE
503925030100	HINCAPIE,ALONSO & LUZ M	4921 SW 188 AVE
503925030110	FERNANDEZ,RAFAEL G	4931 SW 188 AVE
503925030120	GOLDFARB,J & JANET A	5001 SW 188 AVE
503925030130	MOLL,MATTHEW SAM & JENNY LAURA	4900 SW 188 AVE
503925030140	CRUZ,ZEENA MARIECRUZ,ROGER	4910 SW 188 AVE
503925030150	CHIRINO,SAMUEL	4920 SW 188 AVE
503925030160	RASKO,SUSAN E	4930 SW 188 AVE
503925030170	VILLA,ROMANA	5000 SW 188 AVE
503925030180	CHRIST COVENANT CHURCH INC	4700 SW 188 AVE
503925030190	COOPER,DARRYL & PAT	4800 SW 188 AVE
503925030200	COLON,SONNIA & ENRIQUE	4810 SW 188 AVE

503925030210	MAINS,JOEL &MAINS,DAWN	4820 SW 188 AVE
503925030220	VICTORIA PRODUCE LLC	21150 SW 167 AVE
503925030230	MORGAN,JUSTIN & LINDA LEE	4840 SW 188 AVE
503925030240	BIRD,STEPHEN A & ROSALINA M	4850 SW 188 AVE
503925030250	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503925050010	IGLESIA BAUTISTA WEST BROWARD INC	18500 GRIFFIN ROAD
503936010052	ZACCO,MARIO	13100 E PALOMINO DR
503936010053	MURPHY,CHRISTOPHER S H/EMECIAS-MURPHY,ANNIE	5620 SW 185 WAY
503936010056	PEDRO,ANTONIO C & JANETE G PEDRO FAMILY REV TR	5621 SW 185 WAY
503936010061	EPPS,CURTISS W & NANCY A EPPS FAM TR	18600 SW 55 ST
503936010062	EPPS FAM TREPPS,CURTISS W & NANCY A TRS	18600 SW 55 ST
503936010064	BINGER,ROBERT K & HAZEL P	5600 SW 185 WAY
503936010065	COHEN,IRAPERSONAL RESIDENCE TR	5521 SW 185 WAY
503936010072	MAURICIO,ALFONSO & PAULA	18501 SW 54 PL
503936010073	MAURICIO,JOSEPH P MAURICIO,LYNN M	18500 SW 54 PL
503936010090	CAIRO,EUGENIA GARCIA, GLADYS	5441 SW 186 AVE

503936010091	VARGO,ELAINE	5501 SW 186 AVE
503936010120	PRUNEDA,SILVIO & MARIVEL A	5351 SW 186 AVE
503936010121	RODRIGUEZ,ANTONIO & ANA	5331 SW 186 AVE
503936010122	CAMEJO-ESCRIVA,LILIANA	5381 SW 186 AVE
503936010123	KONG,SHEK K & EUNICE	5341 SW 186 AVE
503936010124	SHENCY,RENY	5320 SW 186 AVE
503936010130	SUMMERLIN,HOWARD J H/ESUMMERLIN,ANABEL	5311 SW 186 AVE
503936010131	ALONSO,MANUEL R	5305 SW 186 AVE
503936010132	GREAUX,PATRICKPESTANA,MARITZA	5301 SW 186 AVE
503936010133	RAMIREZ,ADAM H/ERAMIREZ,NERINA	5211 SW 186 AVE
503936010134	GINORIS,ESTELA	5210 SW 186 AVE
503936010135	SPILLERS,WILLIAM F	5310 SW 186 AVE
503936010136	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936010140	VILLAMENDI INVESTMENTS LLC	5201 SW 186 AVE
503936010141	SEVERYN,KENNETH H/ESEVERYN,ALMA & WALTER	5131 SW 186 AVE
503936010142	RICARDO,OMAR	5111 SW 186 AVE

503936010143	POU,CONNIE & REMY	5101 SW 186 AVE
503936010144	STARK,PAMELA ANN	5200 SW 186 AVE
503936010150	MCATEER,DEREK	5041 SW 186 AVE
503936010151	DUCROS,JEAN CLAUDE	DUCROS,OLGA 4981 SW 186 AVE
503936010152	LOPEZ,REINIER	MENDOZA BARBERIS,DEBORA 4979 SW 186 AVE
503936010153	BURGE,LISA ANN	4961 SW 186 AVE
503936010154	TRUJILLO,ANDREA	ESPINOSA,FRANKLIN A 5000 SW 186 AVE
503936010170	HIDALGO,JORGE F	5250 SW 186 AVE
503936010171	SUMMERLIN,MARGARET J	SUMMERLIN REV LIV TR 5180 SW 186 AVE
503936010172	LEE,GINA PLEE,KUNGSANG T	5130 SW 186 AVE
503936010173	VERCOE,RICHARD & CAROLE	5080 SW 186 AVE
503936010174	ARANGO,SEBASTIAN DARIO	5040 SW 186 AVE
503936010175	MCCURDY,JULI	5010 SW 186 AVE
503936010176	SAMSON LEGACY LLC	5000 SW 186 AVE
503936010177	CEPERO,ARIEL	RULLIER CEPERO,ERIK 5280 SW 186 AVE
503936010178	PLESCIA,JOSEPH R	5340 SW 186 AVE
503936010179	BAXTER,JOHN	5350 SW 186 AVE
503936010180	CROTHERS,DONN W & MARGARET V	CALLAHAN,JAMES PETER
503936020010	CALLAHAN,KARLEE MICHELLE	5341 SW 188 AVE
503936020020	DAMIANI,GUITANO T & BRENDA LEE	CARBONE,DENISE H/ECORIAT,CYNTHIA
503936020030	ELINA	5281 SW 188 AVE
503936020040	ROGERS,P JR & PATRICIA	5251 SW 188 AVE
503936020050	ROMERO,LEONAL & DAIRELYS	5221 SW 188 AVE

503936020060	WEEKLEY,MARIE A H/EFINNEY,ROSEANNE D	5191 SW 188 AVE
503936020070	MASSA,JASONCAGAN,JENNIFER	5161 SW 188 AVE
503936020080	VALDES,MADELINE	5131 SW 188 AVE
503936020090	MARQUEZ,GILBERTROMERO,JENNIFER	5101 SW 188 AVE
503936020100	BORGO,MIGUEL A & COLLEN	5340 SW 188 AVE
503936020110	CARRENO,ARMANDO A & JENNIFER M	5310 SW 188 AVE
503936020120	LISTIG,WALTER & VANESSA	5280 SW 188 AVE
503936020130	LOSENBECK,MICHAEL R & LORI L	5250 SW 188 AVE
503936020140	CLARK,HARRY & LILLIAN M	5220 SW 188 AVE
503936020150	KORN,BARBARA L	5190 SW 188 AVE
503936020160	CHANDLER,CYNTHIA	5160 SW 188 AVE
503936020170	HARDEN,DANIEL J & JUDITH	5130 SW 188 AVE
503936020180	PITVILLE LLC	5890 PADDINGTON WAY
503936020190	AARON-TOUS,TARA ETOUS,JORGE A JR	5051 SW 188 AVE
503936020200	SEIBEL,BRIAN	5041 SW 188 AVE
503936020210	AVENDANO,DIANEYSIS H & LUIS E	5031 SW 188 AVE
503936020220	OTERO,LEONARDO	5021 SW 188 AVE
503936020230	THELUSMA,LUDZEN & SURPRISE C	5011 SW 188 AVE
503936020240	DE SOUSA,CYNTHIA & RAIMUNDO	5050 SW 188 AVE
503936020250	SCANDIZZO,J J & KAREN	5040 SW 188 AVE
503936020260	MURPHY,PATRICKMURPHY,MAUREEN E	933 JOHN HENRY LEWIS RD
503936020270	FIGUEROA,ANGEL C & ILEANA	5020 SW 188 AVE
503936020280	PROOF,CARROLL L	5010 SW 188 AVE
503936020290	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936030010	KOBIALKA,KERRIRODRIGUEZ,EDUARDO	18531 SW 55 ST
503936030020	PAUL,THOMAS E H/EPAUL,STEPHANIE	18521 SW 55 ST
503936030030	SNAPP,JASON	18511 SW 55 ST
503936030040	ZABALA,PEDRO	18500 SW 55 ST
503936030050	SNELL,ADELINA & FORREST MICHAEL	18510 SW 55 ST
503936030060	FATJO,MARBELYS L & ABRAHAM L	18520 SW 55 ST
503936030070	MATAMOROS,NOREN	18530 SW 55 ST
503936030080	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD

503936050200	FAINER,ERIC & LORRAINE	5491 SW 188 AVE
503936050210	RIBEL,THOMAS E & SANDRA C	5461 SW 188 AVE
503936050220	GARCIA,EVENECER H/EGARCIA,DAMARIS	5431 SW 188 AVE
503936050230	COTTER,PATRICK & ANNETTE L	5401 SW 188 AVE
503936050270	BRANDT,LAURAMAZZOTTI,FRANK	5550 SW 188 AVE
503936050280	HINDS,RAYMOND & JENISE	5520 SW 188 AVE
503936050290	DI MARTINO,JOSEPH A	5490 SW 188 AVE
503936050300	MOREIRAS,BIANCA H/EBARBARO & BIANCA MOREIRAS TR ETA	5460 SW 188 AVE
503936050310	WARREN,PAIGE	5430 SW 188 AVE
503936050320	LM PROPERTY HOLDINGS LLC	13202 NW 107 AVE UNIT 5
503936050330	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936100010	MARTIN,DAYANNA HMARTIN,NELSON F	18900 SW 49 ST
503936100011	GRIFFIN ROAD 345 PROPERTYOWNERS ASSOCIATION INC	PO BOX 820493
503936100070	GONZALEZ,JHON & JOHANAJHON,GONZALEZ & JOHANA TRSTEE	18901 SW 50 ST
503936100080	MESSNER,HOWARD G	5490 SW 42 ST
503936100150	ZIMMERMAN,ROBERT & BETH	18901 SW 51 MNR
503936100160	SCHWEIN,PAUL DAVID & ANA M G	18900 SW 51 MNR
503936100230	WEDEL,HORST E & YOLANDA	18901 SW 53 ST
503936100240	CONSUEGRA,AURELIO	
503936100310	TORRESSANCHEZ,JUDEX RAMIREZ	18900 SW 53 ST
503936100320	CYPRESS,CHARLEY W	18901 SW 54 PL
503936150010	BOWMAN,BRETBOWMAN,DEB	18900 SW 54 PL
503936150020	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150030	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150040	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150050	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150060	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150070	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150080	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150090	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150100	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150110	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150120	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150130	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150140	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150150	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1

503936150160	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150170	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150180	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936160010	MAURICIO,ALFONSO & PAULA	18511 SW 54 PL
504029010620	SOUTH FLORIDA WATER MANAGEMENTDISTRICT	PO BOX 24680
504030000011	SOUTH FLORIDA WATER MANAGEMENTDISTRICT	PO BOX 24680
504030000020	RODRIGUEZ,NELSON J	15470 NW 82 CT
504030000021	N & D INVESTMENTS OF AMERICA INC	18400 GRIFFIN RD
504030000023	MVR INC	18400 GRIFFIN RD
504030000030	RODRIGUEZ,NELSON J	15470 NW 82 CT
504030000060	SANCHEZ,MIRIAMMIRIAM L SANCHEZ TR	18391 SW 50 ST
504030000061	TORRES HNYTKA,ERIKAHNYTKA,JOHN	18301 SW 50 ST

504030000062	KUMAR,RANA & AMEETA	18291 SW 50 ST
504030000063	LUONGO,MARIA CAROLINARAMIREZ,KEYDHEN	13605 WAYLON LN
504030000064	ABRAHAM,JOSEPH	4106 IMPERIAL EAGLE DR
504030000065	GALVEZ,SUSANA	18200 SW 48 ST
504030000068	NASSER,MOUSTAFA & MONA M	4890 SW 182 TER
504030000069	IVORY,JAMES ANTHONY	18300 SW 48 ST
504030000070	WRIGHT,MARTHA L	18340 SW 48 ST
504030000071	CYPEN,MYLES GRODRIGUEZ,RUBEN A	18201 SW 48 ST
504030000074	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504030000075	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504030030010	IGLESIA MISION VIDA INC	15970 W STATE ROAD 84 #430
504030030040	PUBLIC LAND % BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP

504031010050	BUCK,MELVIN	5303 SW 178 AVE
504031010061	AMADOR,JOSE LUIS & ALEXANDRA C	18050 SW 50 CT
504031010090	DANIELS,DANNY & LINDA	18251 SW 52 CT
504031010091	VASZILY,DIANE ADIANE A VASZILY TR	18241 SW 52 CT
504031010092	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010097	MARTINEZ CARRASQUEL,MARIA AGONZALEZ,ELEAZAR % ESQ TITLE	121 ALHAMBRA PLAZA STE 1500
504031010172	JIRON,YESENIAAVILA REYES,HECTOR NERY	5975 NW 110 ST
504031010173	FINCA DE RAZA OF FLORIDA INC	18050 SW 50 ST
504031010182	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010184	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD

504031010185	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010194	AMADOR,ALEXANDRA C & JOSE L	18050 SW 50 CT
504031010212	FILS-AIME,MARIE FLORE	18031 SW 52 CT
504031010222	STICKLER,SEAN D	18090 SW 52 CT
504031010250	STEINMETZ,GREGORY A & ANA M	5400 SW 182 TER
504031010251	HURTADO,EVA ANA	5351 SW 182 TER
504031010252	ALVAREZ,SANTIAGO F &ALVAREZ,KATHERINE L	4347 SW 195 TER
504031010270	MOMPOINT,NOE	18320 SW 52 CT
504031010280	ROGERS,STANLEY J JR & MICHELLE V	5221 SW 182 TER
504031010290	LEMIGOVA,YULIANAVRATILOVA,MARTINA	18130 SW 50 CT
504031010291	FERNANDEZ,CESAR A JR & CECILIA M	18100 SW 50 CT
504031010292	MACHADO,BEATRICE YROJAS,FEDERICO E	335 NE 101 ST
504031010293	TAVTIGIAN,MATTHEW A & ROWENA G	18310 SPRING ROAD

504031010294	RAWCLIFFE,CATHY	18132 SW 50 CT
504031010295	MACHADO,BEATRICE YROJAS,FEDERICO E	335 NE 101 ST
504031010310	OWENS,LARRY DALE & LISA BRADY	18101 SW 50 CT
504031010311	MACMILLAN,RUSSELL JAMESR J MACMILLAN REV LIV TR ETAL	18201 SW 50 CT
504031010312	PHILLIPS,PAUL B JR & PAMELA ANNPHILLIPS FAM REV TR	18301 SW 50 CT
504031010313	MULHEIM,CHERYL E & JOSEPH	18351 SW 50 CT
504031010320	BON HAES,ADRIENNE	18100 SW 50 ST
504031010321	MIRIAM L SANCHEZ TRSANCHEZ,MIRIAM L TRS	18390 SW 50 ST
504031010322	GUILLARMOD,CATHERINE GCATHERINE G GUILLARMOD REV TR	18300 SW 50 ST
504031010323	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010332	JACKSON,EDWARDJACKSON,KIMBERLY	19151 SW 54 PL
504031010460	MORRIS,JAMESJAMES BYRON MORRIS REV LIV TR	18100 SW 55 ST

504031010461 HERRING,SHARON LSHARON L HERRING TR 18301 SW 57 ST

504031010462 DUPOUX,JEAN R & NAZEERA 18361 SW 57 ST

504031010464 BUTLER,MICHAEL G &PALMER,P J PO BOX 521020

504031010465 ADKINS,SUSAN 18201 SW 57 ST

504031010470 ABLEMAN,JANINE & SAM C 18360 SW 55 ST

504031010480 RODRIGUEZ,ANTONIO & LOURDES 18101 SW 55 ST

504031010481	REINGOLD,LEON & MARINA	6520 PLATT AVE #209
504031010482	MARRERO,GUSTAVO JR & JEAN E	18201 SW 55 ST
504031010483	CHORATH,CYRIL PCHORATH,TESSY	15901 N SEDGEWYCK CIR
504031010484	CORBO,SARA	18331 SW 55 ST
504031010485	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010680	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP
504031020010	LOVERA,LILIA A H/ELOVERA,CARLOS A MCKEON,BRETT LARCOMMCKEON,JENNIFER	18200 SW 52 CT
504031020020	DAVIES	543 HUNTING LOOSE DR
504031020030	CALDERON,RONNY & SUSANSUSAN & RONNY	18201 SW 52 LN
504031020040	E CALDERON LIV TR	18181 SW 52 LN
504031020050	BISOGNO,GARRETT & KIMBERLY	18200 SW 52 LANE
504031020060	SEARLE,JEFFREY D & ANDREA LJEFFREY D	18190 SW 52 LN
	SEARLE REV TR	
	MUSSMAN,LOUIS	

504031020070	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031040010	ALVAREZ,GABRIEL ANTONIO &ALVAREZ,CARMEN ELVIRA	9468 NW 54 DORAL CIR LN
504031110010	LAKHANI,SALIM & SEEMA S	18201 SW 52 CT
504031120010	WILLIAMS,RICHARD & MELANIERICHARD & M WILLIAMS REV LIV TR	18150 SW 50 ST

513901010633	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
--------------	---------------------------	------------------

513901010660	TOWN OF SOUTHWEST RANCHES Patricia A. Bates, MMC, City Clerk City of Weston 17200 Royal Palm Boulevard Weston, FL 33326	13400 GRIFFIN RD
--------------	---	------------------

CITY	STATE	ZIP	ZIP4	LEGAL
SOUTHWEST RANCHE FL		33330	2628	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTR 52 LESS PT LYING N OF CANAL& LESS PT DESC'D AS COMMAT SE COR OF SEC,N 1156.60,WLYALG S/L OF C-11 CANAL FOR1992.08 TO POB,SLY 26.19,WLY179.42,NLY 17.00,ELY 179.78TO POB,TOGETHER WITH ALLTRACT 61
SOUTHWEST RANCHE FL		33332	1404	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 LYING WITHINE1/2 OF N1/2 OF N1/2 OF SW1/4OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332	1403	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 63 LYING WITHIN W1/2OF S1/2 OF N1/2 OF SW1/4 OFSE1/4 OF SE1/4 OF SEC 25
SOUTHWEST RANCHE FL		33332	1404	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 63 LYING WITHIN E1/2OF S1/2 OF N1/2 OF SW1/4OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332	1403	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 63 LYING WITHIN W1/2OF N1/2 OF S1/2 OF SW1/4 OFSE1/4 OF SE1/4 OF SEC
FORT LAUDERDALE FL		33332		EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 50 LYING WITHINW1/2 OF S1/2OF S1/2 OF NW1/4 OF SE1/4 OFSE1/4 OF SEC,LESS E 25 THEREOFFOR RD
TAMARAC FL		33321	6427	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 LYING WITHINW1/2 OF N1/2 OF N1/2 OF SW1/4OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332	1404	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 THAT LIESWITHIN E1/2 OF N1/2 OF S1/2 OFSW1/4 OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332		EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 THAT LIESWITHIN E1/2 OF S1/2 OF S1/2 OFSW1/4 OF SE1/4 OF SE1/4 OF SEC
PEMBROKE PINES FL		33027		EVERGLADES LAND CO SUB S1/225-50-39THAT PT OF TR 50 THAT LIESWITHIN E1/2 OF N2/3 OF S3/4 OFNW1/4 OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332		EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 50 THAT LIESWITHIN W1/2 OF N2/3 OF S3/4 OFNW1/4 OF SE1/4 OF SE1/4 OF SEC
FORT LAUDERDALE FL		33332	1320	SECLESS POR DESC IN OR 37657/1 AKAPARCEL 120

				EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPOR OF TR 50 DESC AS:COMM SE COROF SAID SEC 25;N 1156.60;W ALONGSOUTH R/W OF C-11 CANAL FOR996.17 TO POB S 77.15;W 331.91;N 60.16;E ALONG SOUTH R/W LINEOF C-11 CANAL FOR 332 TO POBAKA:PARCEL 120
FORT LAUDERDALE	FL	33301	1801	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 LYING WITHINW1/2 OF S1/2 OF S1/2 OF SW1/4 OFSE1/4 OF SE1/4 OF SEC,LESSTHEREFROM R/W FOR SW 186 AVE& R/W FOR SW 49 ST
				EVERGLADES LAND CO SUB S1/21-63 D 25-50-39 & 26-50-39ALL THE PROPERTY KNOWN AS SOUTHNEW RIVER CANAL LYING WITHINSAID SEC 25 & 26
WEST PALM BEACH	FL	33416	4680	ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 1
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 1
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 6 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 7 BLK 1
SOUTHWEST RANCHE	FL	33332	1323	ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 2
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 2
SOUTHWEST RANCHE	FL	33332	1323	ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 2
SOUTHWEST RANCHE	FL	33332	1323	ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 2
SOUTHWEST RANCHE	FL	33332	1325	ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 2
SOUTHWEST RANCHE	FL	33332	1324	ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 3
SOUTHWEST RANCHE	FL	33332	1324	ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 3
SOUTHWEST RANCHE	FL	33332	1324	ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 3
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 3
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 3
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 4
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 4
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 4

SOUTHWEST RANCHE FL	33332	1322	ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 4
MIAMI FL	33187		ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 4
SOUTHWEST RANCHE FL	33332	1322	ALAMO COUNTRY ESTATES 89-50 BLOT 6 BLK 4
SOUTHWEST RANCHE FL	33332	1322	ALAMO COUNTRY ESTATES 89-50 BLOT 7 BLK 4
SOUTHWEST RANCHE FL	33330	2628	ALAMO COUNTRY ESTATES 89-50 BALL THOROUGHFARES RIGHT OF WAYSDEDICATED PER SAID PLAT
SOUTHWEST RANCHE FL	33332		NEW RIVER BAPTIST MISSION143-12 BTRACT "A"
SOUTHWEST RANCHE FL	33330	2200	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N1/2 OF E1/2,LESS THATPT LYING WITHIN 40 FT OF THE N/LOF SE1/4 OF SEC, LESS E 25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 48 S1/2 OF N1/2, LESS W 25 FTFOR ROAD R/W PER R/W MPA 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 47 S1/2 OF N1/2, LESS E25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332	1422	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N1/2 OF N1/2,LESS PT DESCN310 OF E350 LESS E25 FT FORROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332	1422	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 47 N1/2 OF N1/2, LESS E25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 48 N1/2 OF N1/2, LESS W25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N310 OF E350 OF S1/2LESS THE N25 FT FOR ROAD R/WLESS E25 FT FOR ROAD R/W PERR/W MAP 13-81
FORT LAUDERDALE FL	33332	1416	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 32 S 527.73 LESS W 350 OFS 263.86 LESS P/P/A GARDENCREATIONS PER PB 176/184 B
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D30- 50-39W 350 OF S 263.86 OF TRACT 32
SOUTHWEST RANCHE FL	33332	1415	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N1/2 OF W1/2 OF N1/2LESS E25 FT FOR ROAD R/W PERR/W MAP 13- 81

SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 B36-50-39TR 34 S1/2 OF W1/2 OF N1/2, LESS E255 FT FOR ROAD R/W PERR/W MAP 13-81
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TRACT 31 S1/2 OF S1/2 OF W1/2 LESS PT DESC'D IN OR 25653/27 FOR R/WS
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 N1/2 OF S1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 S1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 N1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1414	EVERGLADES LAND CO SUB 1-63 D36-50-39THAT PORTION OF TR 31 THAT LIES WITHIN E1/2 OF N1/2 OF N1/2 OF SW1/4 OF SE1/4 OF NE1/4 OF SEC 36
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 S1/2 OF S1/2 OF W1/2 LESS THEREFROM E 25
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 N1/2 OF S1/2 OF W1/2 LESS E 25' THEREOF PER OR 40101/1976
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 S1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 N1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1412	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 N1/2 OF N1/2 OF E1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 S1/2 OF S1/2 OF E1/2
SOUTHWEST RANCHE FL	33330	2628	EVERGLADES LAND CO SUB 1-63 D36-50-39E 25 OF POR OF TRACT 18 DESC AS LYING WITHIN W1/2 OF N1/2 OF S1/2 OF NW1/4 OF SE1/4 OF NE1/4 OF SEC 36
SOUTHWEST RANCHE FL	33332	1411	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 S1/2 OF S1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1409	EVERGLADES LAND CO SUB 1-63 D36-50-39POR TR 15 LYING WITHIN W1/2 OF N1/2 OF S1/2 OF SW1/4 OF NE1/4 OF NE1/4 OF SAID SEC 36-50-39
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 S1/2 OF N1/2 OF W1/2

SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 N1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1412	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 S1/2 OF S1/2 OF E1/2
SOUTHWEST RANCHE FL	33332	1407	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 S1/2 OF S1/2 OF W1/2, LESSEE 25 FOR RD
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 N1/2 OF S1/2 OF W1/2, LESSELY 25 FOR RD
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 S1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1405	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 N1/2 OF N1/2 OF W1/2, LESSEE 25 THEREOF FOR RD
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 N1/2 OF N1/2 OF E1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332	1410	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332	1410	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332	1408	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 E1/2 OF N1/2 OF N1/2
SOUTHWEST RANCHE FL	33332	1408	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 E1/2 OF S1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 E1/2 OF S1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 1 BLK 1
SOUTHWEST RANCHE FL	33332	1331	COUNTRY ESTATES 91-16 BLOT 2 BLK 1
SOUTHWEST RANCHE FL	33332	1329	COUNTRY ESTATES 91-16 BLOT 3 BLK 1
SOUTHWEST RANCHE FL	33332	1329	COUNTRY ESTATES 91-16 BLOT 4 BLK 1
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 5 BLK 1

SOUTHWEST RANCHE FL	33332	1327	COUNTRY ESTATES 91-16 BLOT 6 BLK 1
SOUTHWEST RANCHE FL	33332	1327	COUNTRY ESTATES 91-16 BLOT 7 BLK 1
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 8 BLK 1
SOUTHWEST RANCHE FL	33332	1327	COUNTRY ESTATES 91-16 BLOT 9 BLK 1
SOUTHWEST RANCHE FL	33332	1332	COUNTRY ESTATES 91-16 BLOT 1 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 2 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 3 BLK 2
SOUTHWEST RANCHE FL	33332	1330	COUNTRY ESTATES 91-16 BLOT 4 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 5 BLK 2
SOUTHWEST RANCHE FL	33332	1328	COUNTRY ESTATES 91-16 BLOT 6 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 7 BLK 2
SOUTHWEST RANCHE FL	33332	1328	COUNTRY ESTATES 91-16 BLOT 8 BLK 2
BOCA RATON FL	33496		COUNTRY ESTATES 91-16 BLOT 9 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 1 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 2 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 3 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 4 BLK 3
SOUTHWEST RANCHE FL	33332	1325	COUNTRY ESTATES 91-16 BLOT 5 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 1 BLK 4
SOUTHWEST RANCHE FL	33332	1326	COUNTRY ESTATES 91-16 BLOT 2 BLK 4
DUNLAP TN	37327	6536	COUNTRY ESTATES 91-16 BLOT 3 BLK 4
SOUTHWEST RANCHE FL	33332	1326	COUNTRY ESTATES 91-16 BLOT 4 BLK 4
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 5 BLK 4
SOUTHWEST RANCHE FL	33330	2628	COUNTRY ESTATES 91-16 BALL THOROUGHFARES RIGHT OF WAYSDEDICATED PER SAID PLAT
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 1
SOUTHWEST RANCHE FL	33332	1467	JONEL TERRACE 4 91-33 BLOT 2
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 3
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 4
SOUTHWEST RANCHE FL	33332	1468	JONEL TERRACE 4 91-33 BLOT 5
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 6
SOUTHWEST RANCHE FL	33332	1468	JONEL TERRACE 4 91-33 BLOT 7
SOUTHWEST RANCHE FL	33330	2628	JONEL TERRACE 4 91-33 BTHOROUGHFARES DEDICATED TOPUBLIC PER PLAT 91-33 B

SOUTHWEST RANCHE FL	33332	1352	COUNTRY ACRES 92-38 BLOT 6 BLK 3
SOUTHWEST RANCHE FL	33332	1352	COUNTRY ACRES 92-38 BLOT 7 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ACRES 92-38 BLOT 8 BLK 3
SOUTHWEST RANCHE FL	33332	1352	COUNTRY ACRES 92-38 BLOT 9 BLK 3
SOUTHWEST RANCHE FL	33332	1337	COUNTRY ACRES 92-38 BLOT 4 BLK 4
SOUTHWEST RANCHE FL	33332	1337	COUNTRY ACRES 92-38 BLOT 5 BLK 4
SOUTHWEST RANCHE FL	33332	1318	COUNTRY ACRES 92-38 BLOT 6 BLK 4
SOUTHWEST RANCHE FL	33332	1318	COUNTRY ACRES 92-38 BLOT 7 BLK 4
SOUTHWEST RANCHE FL	33332		COUNTRY ACRES 92-38 BLOT 8 BLK 4
HIALEAH GARDENS FL	33018		COUNTRY ACRES 92-38 BLOT 9 BLK 4
SOUTHWEST RANCHE FL	33330	2628	COUNTRY ACRES 92-38 BTHOROUGHFARE RIGHT OF WAYSDEDICATED PER SAID PLAT
SOUTHWEST RANCHE FL	33332	1334	GRIFFIN 345 PLAT 129-22 BLOT 1 E1/2 GRIFFIN 345 PLAT 129-22 BINTEREST IN LOT 3,8,9,11,12,22,23,25,27,28,41,44,45,46,50, 55,63,64,67,75,76 TO ALL STS,AVESDRIVES,PARKS,BLVDS,WAYS, WALKSWATERWAYS & CANALS
PEMBROKE PINES FL	33082	0493	
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 7 GRIFFIN 345 PLAT 129-22 BLOT 8,LESS N 25
DAVIE FL	33314		
SOUTHWEST RANCHE FL	33332	1367	GRIFFIN 345 PLAT 129-22 BLOT 15
SOUTHWEST RANCHE FL	33332	1311	GRIFFIN 345 PLAT 129-22 BLOT 16 GRIFFIN 345 PLAT 129-22 BLOT 23,LESS S 25
SOUTHWEST RANCHE FL	33332	1368	
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 24
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 31
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 32
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 1
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 2
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 3
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 4
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 5
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 6
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 7
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 8
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 9
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 10
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 11
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 12
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 13
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 14
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 15

FORT LAUDERDALE	FL	33301		TARA162-20 BLOT 16
FORT LAUDERDALE	FL	33301		TARA162-20 BPARCEL A
SOUTHWEST RANCHE	FL	33330	2628	TARA 162-20 BTHE THOROUGHFARES ARE DEDICATEDTO THE PUBLIC PER PLAT
SOUTHWEST RANCHE	FL	33332		GARDEN CREATIONS 176-184 BPARCEL A
WEST PALM BEACH	FL	33416	4680	FLA FRUIT LANDS CO SUB NO 12-17 D 29-50-40 & 30-50-40ALL THE PROPERTY KNOWN AS SOUTHNEW RIVER CANAL LYING WITHINSAID SEC 29 & 30 AND W OF R/WFOR I-75 LYING IN THE TOWN OFSOUTHWEST RANCHES
WEST PALM BEACH	FL	33416	4680	30-50-40COMM SW COR OF SEC 30,N 1436.90TO THE INTERSECTION WITH THEN/R/W/LINE OF SO FLA W/M/D CANAL# 11 & POB,ELY 1707.01,NLY 10,WLY 1706.71 TO W/L OF SEC 30,SLY 10 TO POB
MIAMI LAKES	FL	33016		30-50-40COMM SW COR SEC 30,NLY 1157.05M/L TO S R/W/L OF S NEW RIVERCANAL,ELY 638.50 TO POB,CONTELY 234.49,SLY 507.96,WLY 234.45,NLY 501.21 TO POB,LESS RD R/W & LESS PT INC'DIN PARCEL 116 OF CA 93-31722FOR GRIFFIN RD R/W
FORT LAUDERDALE	FL	33332		30-50-40COMM SW COR OF SEC 30,NLY 674 TOPOB,CONT NLY 483.05,ELY 441.76,SLY 495.61,WLY 441.50 TO POB ASIN OR 4462/897,LESS R/W PAR 118PER CA-93-12154 (OR 21580/73)
FORT LAUDERDALE	FL	33332		30-50-40COMM AT SW COR OF SAID SEC,NLY1157.05,ELY 441.76 TO POB,CONTELY 196.74,SLY 501.21,WLY196.65,NLY 495.61 TO POB LESSR/W & LESS NLY 60 FOR RD
MIAMI LAKES	FL	33016		30-50-40BEG SW COR SEC 30,N 1157.05 TOS R/W/L S NEW RIVER CANAL,ELY 872.99 TO POB,ELY 184.36,SLY 513.23,WLY 184.25,NLY 507.96TO POB LESS R/W & LESS PT INC'DIN PARCEL 116 OF CA 93-31722FOR GRIFFIN RD R/W
SOUTHWEST RANCHE	FL	33331		30-50-40BEG SW COR OF SEC 30,NLYALG W/L FOR 337,ELY 317,SELY 337 TO PT ON S/L OFSEC 30,WLY ALG S/L FOR317.15 TO SW COR OF SEC 30& THE POB,LESS R/W
SOUTHWEST RANCHE	FL	33331		30-50-40BEG SW COR SEC 30,ELY 317.15TO POB,CONT ELY 317.14,NLY 337,WLY 317,SLY 337 TO POB LESS R/W

SOUTHWEST RANCHE FL	33331	1013	30-50-40BEG SW COR SEC 30,ELY 634.29 TOPOB,CONT ELY 317.15,NLY 337,WLY 317,SLY 337 TO POB LESS R/W
MANASSAS VA	20112		30-50-40BEG SW COR SEC 30,ELY 951.44 TOPOB,CONT ELY 317.14,NLY 337,WLY 317,SLY 337 TO POB LESS R/W
VALRICO FL	33594		30-50-40BEG SW COR SEC 30,ELY ALGS/L 1268.58 TO POB,CONT ELY 287,NLY 757.51,WLY 287.16,SLY 748.31 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331	1002	30-50-40BEG SW COR SEC 30,ELY ALGS/L 1268.58,NLY 337 TO POB,CONT NLY 337,WLY 316.86,SLY 337,ELY 317 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331	1040	30-50-40PT OF SEC 30 DESC AS BEG SW CORSEC 30,ELY 951.44,NLY 337 TOPOB,CONT NLY 337,WLY 316.86,SLY 337,ELY 317 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331		30-50-40PT OF SEC 30 DESC AS BEG SW CORSEC 30,ELY 634.29,NLY 337 TOPOB,CONT NLY 337,WLY 316.86,SLY 337,ELY 317 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331	1004	30-50-40BEG 337 NLY OF SW COR SEC 30,CONT NLY ALG W/L 337,ELY 316.86,SLY 337,WLY 317 TO POB LESS R/WAKA:LOT EROLLING OAKS ACRES UNREC
SOUTHWEST RANCHE FL	33331	1001	30-50-40PT OF SEC 30 DESC AS BEG SW CORSEC 30,ELY 1268.58,NLY 674 TOPOB,CONT NLY 519.12,WLY 209.54,SLY 513.23,ELY 210.59 TO POB,LESS N 90.04 FOR R/W PAR 115 PERCA-93-12154 (OR 21580/73)
SOUTHWEST RANCHE FL	33330	2628	30-50-40S 25 OF SW1/4 OF SAID SEC THATIS 255 E OF W/L TOGETHER WITHALL LANDS LYING WITHIN 70 OFSAID PT PER R/W MAP 13/81
SOUTHWEST RANCHE FL	33330	2628	30-50-40ALL LAND WITHIN 25 OF FOLL DESCC/L,BEG SW COR SEC 30,NLY 674,E316.86 TO POB,ELY 788.72 TO PTOF TERMINATION,TOG WITH ALL LANDWITHIN 70 OF BOTH POB & PT OFTERM TOG WITH ALL LAND WITHIN 25OF FOLL DESC C/L,BEG S/W COR OFSEC,ELY 634.29 TO POB,NLY 674 TOPT OF TERMINATION AS PER R/W MAP
SOUTHWEST RANCHE FL	33326		ST PAUL LUTHERAN CHURCH 148-18 BPARCELS 1 & 2
FORT LAUDERDALE FL	33301	1801	ST PAUL LUTHERAN CHURCH 148-18 BDEDICATED THOROUGHFARES RIGHT OFWAYS PER SAID PLAT

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 24 W1/2 LESS E 28.99THEREOF EXCEPT PT LYING WITHIN15 OF S/L OF NW1/4 OF SEC 31TOGETHER WITH PT LYING E OF W/LOF E1/2 OF TR 24 EXT'D SLY &LYING WITHIN 15 OF S/L OF NW1/4LESS PT THEREOF LYING WITHIN 40OF E/L OF NW1/4 OF SEC 31
SOUTHWEST RANCHE FL	33331	2369	
SOUTHWEST RANCHE FL	33331	1022	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 20 W1/2 OF W1/2
SOUTHWEST RANCHE FL	33331	2209	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 28 W 330 LESS R/W FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 28 LESS E1/2 & LESS W 330& LESS RD R/W
SOUTHWEST RANCHE FL	33331	2209	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 28 E1/2 LESS THAT PORDESC IN OR'S 25068/393 &30539/1330;LESS S 25 FOR R/WAKA:E 35 TRACT 28
SOUTHWEST RANCHE FL	33330		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40A POR OF TR 28 DESC AS:COMM ATNE COR SAID TR 28;W 35 TO POB,W 304.12,S 305.06,E 304.77,N 305.06 TO POB
CORAL GABLES	FL	33134	
HIALEAH	FL	33012	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 18 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1010	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 17 W1/2 OF W1/2,LESS R/W
SOUTHWEST RANCHE FL	33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP OF LAND THAT LIES 25ON EACH SIDE OF FOLLOWING DESCC/L,BEG AT PT ON S/L OF TR 18THAT IS 50 W OF E/L,WLY ALG S/LOF SAID TR TO PT ON S/L 255 E OFW/L OF TR 31 TOGETHER WITH ALLLAND IN TR 30 & 31 THAT LIESWITHIN 70 OF SAID DESC PT THAT
SOUTHWEST RANCHE FL	33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP OF LAND LYING 25 ONEACH SIDE OF FOLLOWING DESC C/L,BEG AT A PT ON S/L TR 21 THAT IS50 W OF E/L OF SAID TR,WLY ALGS/L OF TRS 21 & 28 TO SW COR OFE1/2 OF W1/2 OF TR 28,TOGETHERWITH ALL LAND IN TRS 27 & 28THAT LIES WITHIN 70 OF SAID

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP 25 ON EA SIDE OF FOLLDESC C/L,BEG NW COR OF E1/2 TR27,S ALG W/L OF E/L TR 27,26 &25 TO PT 120 N OF SW COR OF E/LTR 25,TOG WITH ALL LAND IN TR 25WITHIN 70 OF SAID PT ON W/L OF E1/2 TR 25) 120N OF SW COR OF E1/2 TR 25)LESS P/P/A 81-
SOUTHWEST RANCHE FL	33330	2628	12 B FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 19 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1022	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 21 W3/5 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 22 W1/2 OF W1/2 LESS R/W,TR 23 W1/2 OF W1/2
SOUTHWEST RANCHE FL	33331	2243	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 25 W1/2 LESS R/W & LESSW 2 ACRES OF W1/2
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40W 2 ACRES OF W1/2 OF TRACT 25DESC AS:BEG NW COR TR 25,E ALGN/L TR 25 FOR 263.58,S 330.38,W264.24,N 330.08 TO POB
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 26 W1/2 LESS R/W &LESS P/P/A "CAPUZZI PLAT"
MIRAMAR FL	33029		
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 27 W1/2 OF W1/2 LESS R/WSFOR SW 52 CT & FOR SW 184 AVE
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 27 E1/2 OF W1/2 LESSR/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 29 E1/2 OF E1/2,LESSOR 6409/655,TR 30 E1/2 OF E1/2LESS R/W LESS W 15 THEREOF
SOUTHWEST RANCHE FL	33331	1024	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 29 W1/2 OF E1/2,30 W1/2 OF E1/2 LESS R/W
MIAMI SHORES FL	33138		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF W1/2 OF E1/2 OF W1/2 OFTRACTS 29 & 30 DESC'D AS: COMMAT NW COR OF NW1/4 OF NW1/4 OFSEC 31, S 660.12, E 320.21, S 25TO POB, E 160.13, S 635.11, W160.81, N 635.12 TO POB
SOUTHWEST RANCHE FL	33331	1028	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 29 W1/2 OF W1/2,30 W1/2 OF W1/2 LESS R/W

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-41S2/5 OF THE FOLLOWING DESCPROPERTY,E1/2 OF E1/2 OF TR 29TOGETHER WITH E1/2 OF E1/2 TR 30ALSO W 15 OF E1/2 OF E1/2 TRS 29& 30
SOUTHWEST RANCHE FL	33331	1024	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF E1/2 OF E1/2 OF W1/2 OFTRACTS 29 & 30 DESC'D AS: COMMAT NW COR OF NW1/4 OF NW1/4 OFSEC 31, S 660.12, E 320.21, S25, E 160.13 TO POB, E 160.13,S 635.11, W 160.81, N 635.11 TOPOB
MIAMI SHORES FL	33138		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 E1/2 OF E1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1023	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 W1/2 OF E1/2 LESS R/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 E1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1027	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1027	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 32 E 347.35 LESS R/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 32 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1015	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 32 E1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1016	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40N 25 OF NW1/4 OF SAID SEC THATIS 255 E OF W/L TOGETHER WITHALL LANDS LYING WITHIN 70 OFSaid PT,LESS PT INC'D INOR 16268/987,LESS P/P/A WILLIAMSPLAT 173-145 B;AS PER R/W MAP13/81
SOUTHWEST RANCHE FL	33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF TRS 33 & 34 DESC AS FOL,COMM AT NW COR TR 33,S ALGW/L OF TRS 33 & 34 FOR 365.76,ELY 300.99,NLY 357.73,WLY300.92 TO POB
SOUTHWEST RANCHE FL	33332		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40N1/2 OF FOLLOWING DESC PROPERTY,PT OF TRS 45,46 & 47 DESC AS BEG36 S OF NE COR TR 45,WLY 325.58,NLY TO A PT 325.58 WLY OF E/L OFTR 47,ELY 325.58,SLY ALG E/L OFTRS 45,46,47,660.12 TO POB AS INOR 3739/553 LESS R/W
SOUTHWEST RANCHE FL	33331	2218	

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TR 45,46 DESC AS COMM 36 S OFNE COR,W TO 72 S OF NW COR OFTR 45 FOR 651.16 TO POB,CONT W325.79,S 330.03,E 325.79,N330.04 TO POB LESS S 25 & W325.57 OF E 976.72 OF FOL,BEG 36S NE COR,S 330.06 36 S SE COR,W1304.03,N 330.03 TO 72 S OF NW C
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TRS 45 & 46 DESC AS BEG 36 SOF NE COR TR 46,SLY ALG E/LTRS 45 & 46 330.06 TO A PT 36 SOF SE COR TR 46,WLY 1306.86 TOPT 72 S OF SW COR TR 46,NLY ALGW/L TRS 45 & 46 330.03 TO PT 72S OF NW COR TR 46,ELY 1304.03 TOPOB LESS E 976.72 AS IN
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40W 325.57 OF E 651.15 OF THAT PTOF TR 46 & 47 DESC AS FOL,BEG 36S OF NE COR TR 47,S 330.06,W 1304.03 TO A PT ON W/L OFTR 46 THAT IS 72 S OF SW COR OFTR 47,NLY 330.03,ELY 1301.34 TOE/L OF TR 47 & POB LESS R/W
MIAMI	FL	33152	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40W 325.58 OF E 651.16 OF PT OFTRS 45 & 46 INC IN FOL DESC,BEGON E/L TR 45 AT PT 36 S OF NECOR,W 1306.86 TO PT ON W/L 72 SOF NW COR TR 45,NLY 330.03 TO PT72 S OF NW COR TR 46,E 1304.03,S 330.06 TO POB,LESS R/W
SOUTHWEST RANCHE FL	33331	2231	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TRS 46 & 47 DESC AS BEG 36 SOF NE COR TR 47,SLY ALG E/LTRS 46 & 47 330.06 TO PT 36 SOF SE COR TR 47,WLY 1304.03 TOPT 72 S OF SW COR TR 47,NLY ALGW/L TRS 46 & 47 330.03 TO PT 72S OF NW COR TR 47,ELY 1301.34TO POB LESS E 976.72 AS IN
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40THE E 234.97 OF THE FOL,ALL OFTR 48 & PT OF TR 47 DESC AS BEGNE COR OF TR 48,SLY 366.06,WLY1301.34 TO A PT ON W/L OF TR 47402.03 S OF NW COR OF TR 48,NLY402.03 TO NW COR OF TR 48,ELY1297.72 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331		

WEST HILLS	CA	91307	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 48 & PT 47 DESC AS BEG NE COROF TR 48,SLY 366.06,WLY 1301.34TO PT ON W/L TR 47,NLY 402.03TO NW COR 48,ELY 1297.72 ALGN/L TO POB,LESS THEREFROME 1027.01 THEREOF LESS R/W
SOUTHWEST RANCHE FL		33331 2219	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40THE W 266.43 OF THE E 749.61 OFALL OF TR 48 & THAT PT OF 47DESC AS BEG NE COR TR 48,SLY ALGE/L OF TR 47 & 48 366.06,WLY1301.34 TO PT ON W/L TR 47,NLY402.03,ELY ALG N/L TR 48 1297.72TO POB LESS R/W
DAVIE	FL	33331	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT OF TRACTS 47 & 48 DESC AS,THE W 248.23 OF E 483.18 OF THEFOL DESC PAR,BEG NE COR OF TRACT48,SLY ALG E/L OF TRACTS 47 & 48FOR 366.06,WLY 1301.34 TO A PT ON W/L OF TR 47 AT A PT 402.03S OF NW COR OF TRACT 48,NLY402.03 TO NW COR OF TR 48,ELY
SOUTHWEST RANCHE FL		33331 2221	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TRS 47 & 48 DESC AS W 277.40OF E 1027.01 OF THE FOLLOWINGDESC PARCEL,BEG NE COR OF TR 48,SLY ALG E/L OF SAID TRS 47 & 48366.06,WLY 1301.54 TO PT ON W/LTR 47 THAT IS 402.03 S OF NW COROF TR 48,NLY 402.03 TO NW COR OFTR 48,ELY 1297.72 TO POB
SOUTHWEST RANCHE FL		33330 2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP OF LAND LYING 25 ONEACH SIDE OF FOLLOWING DESC C/L,BEG SE COR OF TR 33,WLY ON ALINE THAT FORMS AN ANGLE OF90-46- 47 IN NW QUADRANT WITH N/SCENTERLINE OF SEC 31,TO PT THATIS 255 E OF W/L OF SAID SEC,LESSE 50,TOGETHER WITH ALL LAND
FORT LAUDERDALE FL SOUTHWEST RANCHE FL		33301 1801 33331	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF W1/2 OF W1/2 TR 27,SEC 31LYING WITHIN 60 FEET EAST ANDPARA WITH W/L OF NW1/4 SEC 31 ALMAS ACRES 81-12 BLOT 1
MIAMI SPRINGS	FL	33166	ALMAS ACRES 81-12 BLOT 2
SOUTHWEST RANCHE FL		33331	ALMAS ACRES 81-12 BLOT 3
SOUTHWEST RANCHE FL		33331	ALMAS ACRES 81-12 BLOT 4
SOUTHWEST RANCHE FL		33331	ALMAS ACRES 81-12 BLOT 5
SOUTHWEST RANCHE FL		33331	ALMAS ACRES 81-12 BLOT 6

SOUTHWEST RANCHE FL	33330	2628	ALMAS ACRES 81-12 BTHOROUGHFARES DEDICATED TOPUBLIC PER PLAT 81-12 B
DORAL FL	33178		CAPUZZI PLAT 145-42 BTRACT A LAKHANI PLAT 173-30 BTRACT A LESS E 17.5 PEROR 37981/1902 & OR 38053/1339
SOUTHWEST RANCHE FL	33331		
SOUTHWEST RANCHE FL	33331		WILLIAMS PLAT 173-145 BPARCEL A
			EVERGLADES LAND CO SUB 1-63 D36- 01-39 PORTIONS OF TRACTS 33,34,48,49,63 AND 64 TOGETHER WITHPORTIONS OF TRACTS 1,2,16,17,31-34, 48, 49 AND 63 OFEVERGLADES LAND CO SUB 2-1 D1- 51-39 PER OR 6313/267, LESSPOR TR 63 OF SEC 1 LYING WITHIN100 FT NORTH AND PARALLEL WITHS/L OF SEC 1
SOUTHWEST RANCHE FL	33330	2628	
			EVERGLADES LAND CO SUB 1-63 D36- 50-39 & 01-51-39THE EAST 25 FT OF TRACTS 63, 50LESS N1/2 OF S1/2, TRS 47, 34,31 LESS N1/2;TOG WITH W 25 FT OFTRS 49,48 AND 33 LESS LESS P/P/A138-1 B,TR 32 LESS S1/2 OF N1/2,TR 17 LESS S1/2 OF S1/2,TRS 16 &1 OF SEC 01-51-39 TOG WITH TR 64& 48 W 25 FT,TRS 63,50,47 E 25
SOUTHWEST RANCHE FL	33330	2628	

This page
intentionally left blank



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Steve Breitkreuz, Mayor
Gary Jablonski, Vice Mayor
Jim Allbritton, Council Member
Bob Hartmann, Council Member
David Kuczenski, Council Member

Andrew D. Berns, MPA, Town Administrator
Keith M. Poliakoff, JD, Town Attorney
Russell Muniz, MPA, Assistant Town Administrator/Town Clerk
Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

COUNCIL MEMORANDUM

TO: Honorable Mayor Breitkreuz and Town Council
VIA: Andrew Berns, Town Administrator
FROM: Jeff Katims
DATE: 2/15/2022
SUBJECT: ORDINANCE VACATING ROADS WITHIN AKAI ESTATES
DEVELOPMENT

Recommendation

Approval with conditions to be satisfied prior to second reading.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

A. Sound Governance

Background

Akai Estates, LLC ("Petitioner") requests vacation and abandonment of road-related easements and rights-of-way within the Akai Estates development in order to permanently establish access to the community exclusively from Griffin Road. The substantive aspect of the request involves abandoning the future planned access to 184th Avenue. The technical aspect of the request involves replacing the various instruments that created Akai Drive with a single new easement instrument (without changing the configuration) in order to comply with a technical requirement of the Broward County Land Development Code.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims

ATTACHMENTS:

Description	Upload Date	Type
Ordinance	2/16/2022	Ordinance
Staff report	2/16/2022	Executive Summary
Mail Notice Radius Map	2/16/2022	Backup Material
Mail Notice Mailing List	2/16/2022	Backup Material

ORDINANCE NO. 2022-____

AN ORDINANCE OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, VACATING, CLOSING AND ABANDONING PLATTED AND UNPLATTED PORTIONS OF AKAI DRIVE, SW 49TH STREET AND ASSOCIATED TURN LANE AND TURNAROUND EASEMENTS WITHIN THE TARA PLAT, RECORDED IN PLAT BOOK 162, PAGE 20 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; ACCEPTING THE GRANT OF AN INGRESS/EGRESS, DRAINAGE AND UTILITY EASEMENT IN PLACE OF THE ABANDONED PLATTED RIGHT-OF-WAY AND UNPLATTED INGRESS/EGRESS EASEMENT FOR AKAI DRIVE; ACCEPTING THE GRANT OF A RECREATIONAL TRAIL EASEMENT; AUTHORIZING THE PREPARATION AND EXECUTION OF EFFECTUATING DOCUMENTS; PROVIDING INSTRUCTIONS TO THE TOWN CLERK; PROVIDING FOR RECORDATION; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE. (APPLICATION NO. VC-31-22)

WHEREAS, Akai Estates, LLC ("Owner") seeks to vacate easements and rights-of-way for vehicular use areas within the Tara Plat; and

WHEREAS, the vacations are requested to satisfy Broward County Land Development Code requirements and Town requirements for obtaining permanent access from Griffin Road and abandoning platted access to SW 184th Avenue; and

WHEREAS, the vacation of Akai Drive is strictly for the purpose of replacing a series of temporary easements, permanent easements and right-of-way with a single, permanent easement for ingress, egress, drainage and utilities ("Private Road Easement"); and

WHEREAS, Owner's granting of a new recreational trail easement will ensure continued east-to-west trail access through Akai Estates and north-to-south trail access along the 184th Avenue corridor once SW 49th Street east of Akai Drive is abandoned, as required pursuant to the Town's adopted Greenways Map; and

WHEREAS, in consideration of the permanent Griffin Road access and new trail easements, the Town Council finds that SW 49th Street east of Akai Drive, the right turn lane easement into the development from SW 184th Avenue and the turnaround

easement within Lots 1 and 2 are no longer needed for any public purpose, and that the vacation request will not otherwise conflict with the health, safety, and welfare of Town residents.

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. Adoption of recitals. The foregoing recitals are true and correct and are incorporated herein by reference.

Section 2. Right-of-way vacation. The Town Council hereby authorizes the vacation and abandonment of the platted Akai Drive and SW 49th Street rights-of-way described in Exhibits "A," which are attached hereto and made a part hereof.

Section 3. Right turn lane easement vacation. The Town Council hereby authorizes the vacation and abandonment of the platted right turn lane easement described in Exhibit "B," which is attached hereto and made a part hereof.

Section 4. Ingress/egress easements vacation. The Town Council hereby authorizes the vacation and abandonment of the ingress/egress easements described in Exhibit "C," which is attached hereto and made a part hereof.

Section 5. Turnaround easement vacation. The Town Council hereby authorizes the vacation and abandonment of the turnaround easement described in Exhibit "D," which is attached hereto and made a part hereof.

Section 6. Grant of new road easement. The Town Council of the Town of Southwest Ranches, Florida hereby accepts Owner's grant of the new easements for ingress and egress over Akai Drive as described in Exhibit "E," the description of which is attached hereto and made a part hereof. The Town Attorney is hereby instructed to record the easement in the Public Records of Broward County, Florida.

Section 7. Grant of recreational trail easement. The Town Council of the Town of Southwest Ranches, Florida hereby accepts Owner's grant of the recreational trail easement as described in Exhibit "F," a description of which is attached hereto and made a part hereof. The Town Attorney is hereby instructed to record the recreational trail easement in the Public Records of Broward County, Florida.

Section 8. Maintenance. The Owner, and its successors and assigns, shall be responsible for maintaining the easements accepted in Sections 6 and 7 of this

Ordinance in perpetuity. The Town of Southwest Ranches shall have no responsibility for maintaining the property within said easements.

Section 9. Effectuation. The Town Attorney, Town Administrator and Mayor are hereby authorized to prepare and execute any and all documents necessary to effectuate the intent of this Ordinance.

Section 10. Recordation. The Town Clerk is hereby directed to record a copy of this Ordinance in the Public Records of Broward County, Florida.

Section 11. Conflict. All ordinances or parts of Ordinances, Resolutions, or parts of Resolutions in conflict herewith, be and the same are hereby repealed to the extent of such conflict.

Section 12. Severability. If any word, phrase, clause, sentence, or section of this Ordinance is for any reason held unconstitutional or invalid, the invalidity thereof shall not affect the validity of any remaining portions of this Ordinance.

Section 13. Effective date. This Ordinance shall become effective upon recordation of a Non Vehicular Access Line amendment authorizing Akai Drive to directly access Griffin Road pursuant to the proposed Private Road Easement.

PASSED ON FIRST READING this __ day of ____, 2022 on a motion made by Council Member _____ and seconded by Council Member _____.

PASSED ON SECOND READING this this __ day of ____, 2022 on a motion made by Council Member _____ and seconded by Council Member _____.

Breitkreuz _____
Jablonski _____
Allbritton _____
Hartmann _____
Kuczenski _____

Ayes _____
Nays _____
Absent _____
Abstaining _____

[Signatures are on Following Page]

Steve Breitkreuz, Mayor

Attest:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, Town Attorney

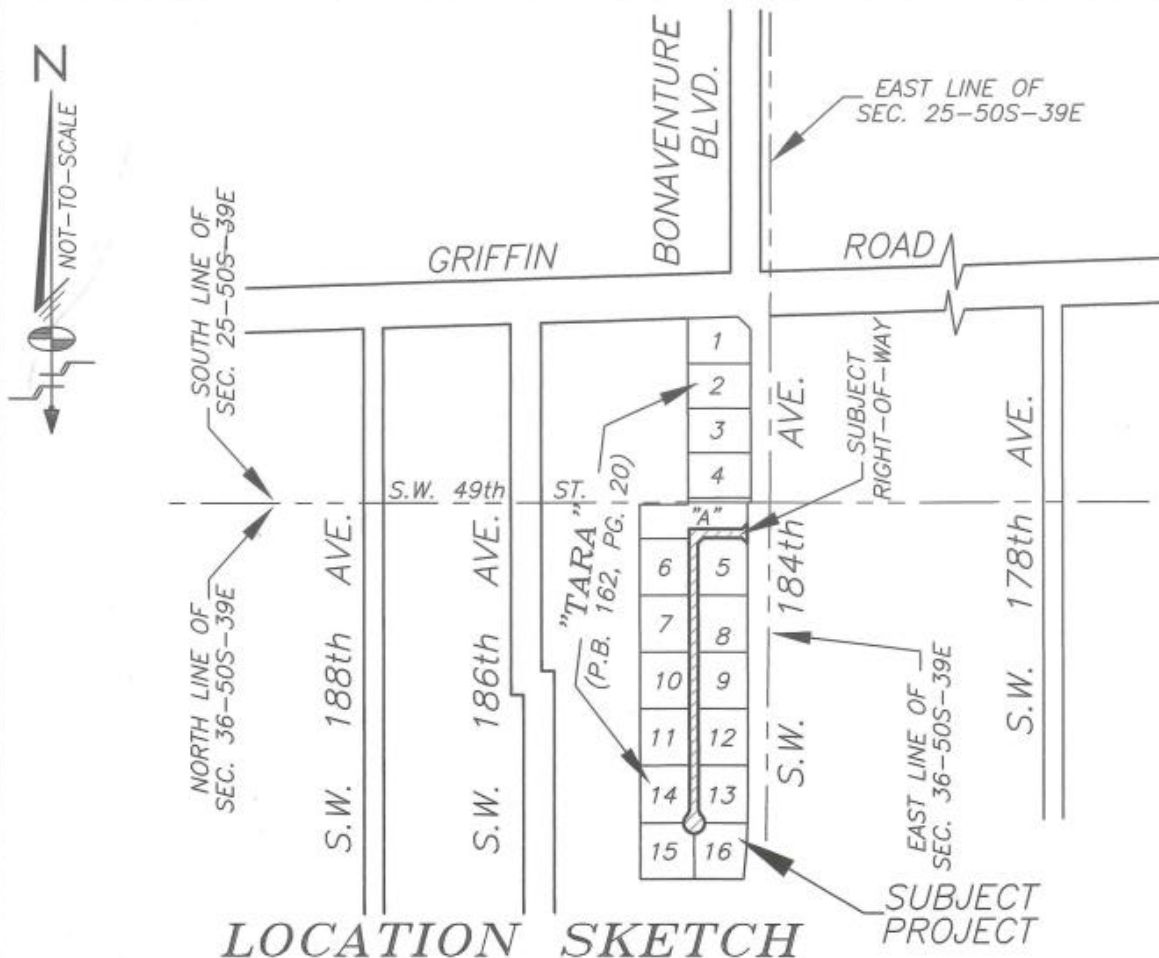
1001.931.01

EXHIBIT "A"

SKETCH AND LEGAL DESCRIPTION OF VACATED RIGHT-OF-WAY

(ATTACHED)

**SKETCH TO ACCOMPANY LEGAL DESCRIPTION
THOSE CERTAIN UNNAMED RIGHTS-OF-WAY TO BE VACATED
A PORTION OF THE PLAT OF "TARA" - P.B. 162, PG. 20-B.C.R.**



LOCATION SKETCH

LEGEND:

P.O.C.	DENOTES POINT OF COMMENCEMENT	U.E.	DENOTES UTILITY EASEMENT
P.O.B.	DENOTES POINT OF BEGINNING	D.E.	DENOTES DRAINAGE EASEMENT
P.B.	DENOTES PLAT BOOK	MAINT.	DENOTES MAINTENANCE
O.R.B.	DENOTES OFFICIAL RECORDS BOOK	EASMT.	DENOTES EASEMENT
PG.	DENOTES PAGE	DRAIN.	DENOTES DRAINAGE
PGS.	DENOTES PAGES	NVAL	DENOTES NON-VEHICULAR ACCESS LINE
B.C.R.	DENOTES BROWARD COUNTY RECORDS	///	DENOTES NON-VEHICULAR ACCESS LINE
¢	DENOTES CENTER LINE		
R/W	DENOTES RIGHT-OF-WAY		

SHEET 1 OF 5 SHEETS



Schwebke-Shiskin & Associates, Inc.

LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025

PHONE No.(954)435-7010

FAX No. (954)438-3288

ORDER NO. 212123

DATE: OCT. 9, 2020

THIS IS NOT A "BOUNDARY SURVEY"

CERTIFICATE OF AUTHORIZATION No. LB-87

PREPARED UNDER MY SUPERVISION

RONALD A. FRITZ, ASSISTANT VICE PRESIDENT

FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS

K:\365040\Downey Ranches\LEGALS\DWG\DOWNEY DRIVE-49 STREET VACATION.dwg

SCALE: 1"=100'

NORTH ARROW

SOUTHWEST CORNER; LOT 4
(P.B. 162, PG. 20)

20' ROAD R/W PER
P.B. 1, PG. 63, D.C.R.

15' ROAD R/W PER PLAT
BOOK 143, PG. 12, B.C.R.

S.W. 49th ST.

S.89°55'38"W. 270.45'

S.00°10'28"E. 1034.61' (TOTAL)

251.45'

50' D.E.

15' U.E.

WEST LINE OF CANAL MAINT. EASMT. LOT 4

11' CANAL EASMT.

O.R.B. 40057, PG. 1714

LOT 4 SOUTH LINE; LOT 4

20' LAKE MAINT. EASMT.

N.89°55'38"E. 350.42'

318.42'

15' UTILITY EASEMENT & CANAL MAINT. EASMT.

40' CANAL EASMT.

251.45' (TOTAL)

968.64' (TOTAL)

S.00°07'32"E.

15' UTILITY EASEMENT & CANAL MAINT. EASMT.

SOUTH LINE OF SEC. 25-50S-39E

NORTH LINE OF SEC. 36-50S-39E

10' U.E.

20' LAKE MAINT. EASMT.

N.44°54'14"E. 42.46'

20.00'

S.89°55'38"W.

118.82'

12' ROAD EASEMENT

60'

110.05'

S.00°05'46"E.

295.25'

N.89°54'14"E.

N.89°54'14"E. 360.27'

S.W. 49th ST.

215.23'

10' U.E.

SOUTH R/W LINE; UNNAMED R/W

11' CANAL EASMT.

O.R.B. 40057, PG. 1714

LOT 5
A=87,124 S.F.

15' UTILITY EASEMENT & CANAL MAINT. EASMT.

40' CANAL EASMT.

289.74'

1425.01' (TOTAL)

S.00°07'32"E.

80' S.W. EAST LINE; N.E. 1/4; SEC. 36-50S-39E

SOUTHEASTERLY EXTENSION; MOST EASTERLY LINE; PARCEL "A"

PARCEL "A" LAKE EASEMENT

20' DRAIN. EASMT. & LAKE MAINT. EASMT.

N.89°54'14"E. 275.54'

10' U.E.

P.O.B. NORTHEAST CORNER; LOT 6

LOT 6
A=87,192 S.F.

WEST R/W LINE; UNNAMED R/W

10' U.E. S.W. 184th TERR. (DOWNEY DRIVE)

1519.05' (TOTAL)

1816.08' (TOTAL)

1492.31' (TOTAL)

289.73'

10' U.E. EAST R/W LINE; UNNAMED R/W

SUBJECT RIGHT-OF-WAY

20' D.E.

275.30'

S.89°54'14"W.

10' U.E.



20' D.E.

LOT 7

LOT 8

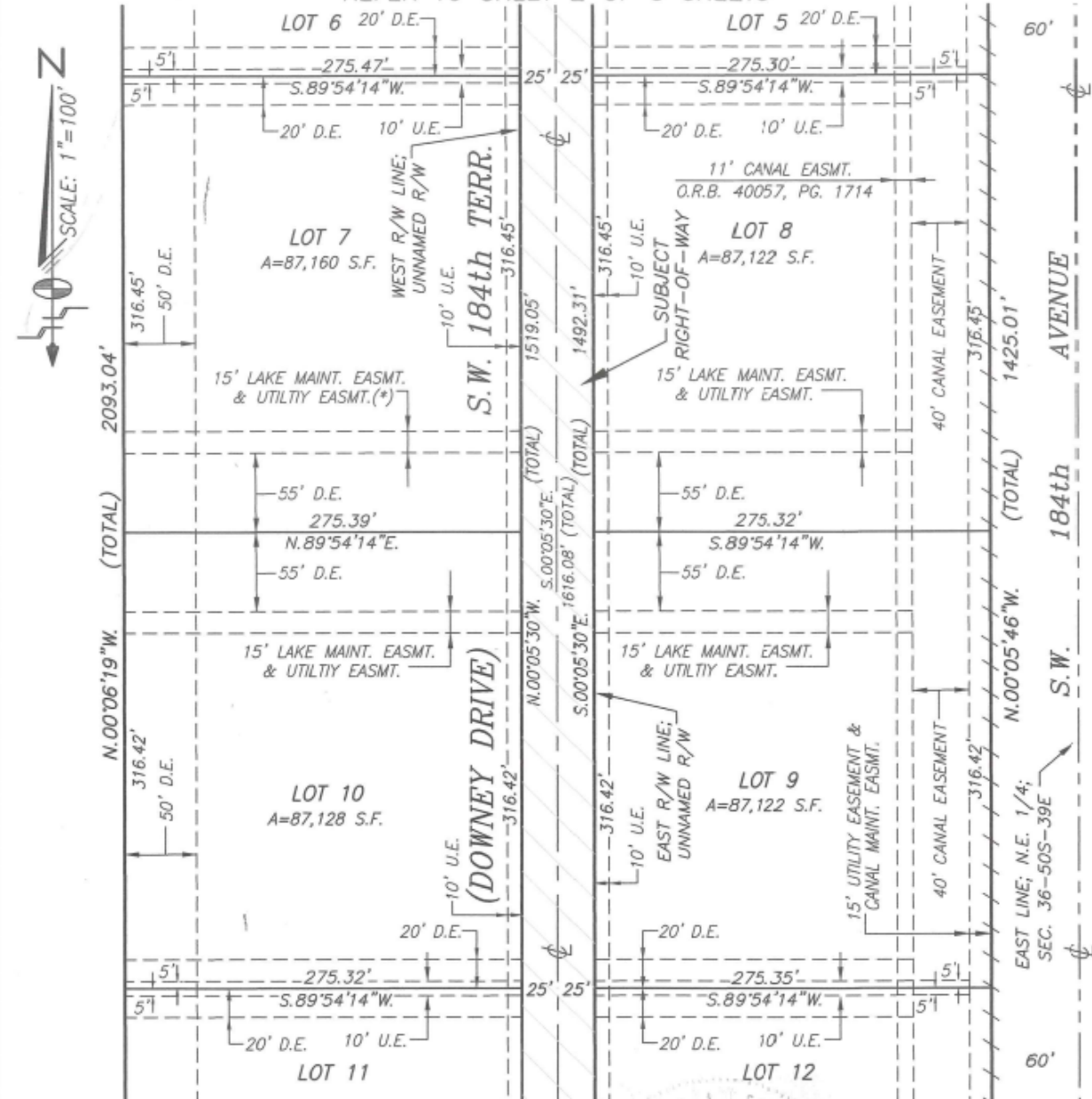
REFER TO SHEET 3 OF 5 SHEETS

REFER TO SHEET 3 OF 5 SHEETS

	Schwabke-Shiskin & Associates, Inc.		REVISIONS
	LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025		
	PHONE No. (954) 435-7010	FAX No. (954) 438-3288	
	ORDER NO. <u>212123</u>	PREPARED UNDER MY SUPERVISION	
	DATE: <u>OCT. 9, 2020</u>		
	THIS IS NOT A "BOUNDARY SURVEY"		
	CERTIFICATE OF AUTHORIZATION No. LB-87		
	RONALD A. FRITZ, ASSISTANT VICE PRESIDENT		
	FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767		

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
THOSE CERTAIN UNNAMED RIGHTS-OF-WAY TO BE VACATED
A PORTION OF THE PLAT OF "TARA" - P.B. 162, PG. 20-B.C.R.

REFER TO SHEET 2 OF 5 SHEETS



REFER TO SHEET 4 OF 5 SHEETS

SHEET 3 OF 5 SHEETS



Schwebke-Shiskin & Associates, Inc.

LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025

PHONE No. (954) 435-7010

FAX No. (954) 438-3288

ORDER NO. 212123

DATE: OCT. 9, 2020

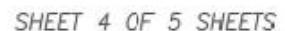
THIS IS NOT A "BOUNDARY SURVEY"
 CERTIFICATE OF AUTHORIZATION No. LB-87

PREPARED UNDER MY SUPERVISION

RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
 FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS

REFER TO SHEET 3 OF 5 SHEETS



FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

Page 101 of 194

LEGAL DESCRIPTION TO ACCOMPANY SKETCH THOSE CERTAIN UNNAMED RIGHTS-OF-WAY TO BE VACATED A PORTION OF THE PLAT OF "TARA" – P.B. 162, PG. 20–B.C.R.

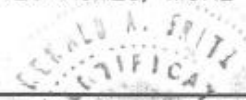
LEGAL DESCRIPTION:

ALL OF THOSE CERTAIN UNNAMED RIGHTS-OF-WAY, COMMONLY KNOWN AS SOUTHWEST 184th TERRACE (DOWNEY DRIVE) AND SOUTHWEST 49th STREET, ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT 6, AS SHOWN ON THE SAID PLAT OF "TARA"; THENCE NORTH 00 DEGREES 05 MINUTES 30 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE), FOR 53.28 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 14 SECONDS EAST FOR 295.25 FEET; THENCE NORTH 44 DEGREES 54 MINUTES 14 SECONDS EAST FOR 42.46 FEET; SAID LAST DESCRIBED TWO COURSES BEING ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 49th AVENUE), AS SHOWN ON THE SAID PLAT OF "TARA"; THENCE SOUTH 00 DEGREES 05 MINUTES 46 SECONDS EAST, ALONG THE SOUTHERLY EXTENSION OF THE MOST EASTERLY LINE OF TRACT "A", AS SHOWN ON THE SAID PLAT OF "TARA", FOR 110.05 FEET; THENCE NORTH 45 DEGREES 05 MINUTES 46 SECONDS WEST FOR 42.46 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 14 SECONDS WEST FOR 215.23 FEET; THENCE SOUTH 44 DEGREES 54 MINUTES 14 SECONDS WEST FOR 42.46 FEET; SAID LAST DESCRIBED THREE COURSES BEING ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 49th AVENUE); THENCE SOUTH 00 DEGREES 05 MINUTES 30 SECONDS EAST, ALONG THE EAST RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE), FOR 1492.31 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 53 DEGREES 58 MINUTES 05 SECONDS FOR AN ARC DISTANCE OF 23.55 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY, SOUTHERLY, SOUTHWESTERLY, WESTERLY, NORTHWESTERLY, NORTHERLY AND NORTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE RIGHT, CONCAVE NORTHERLY, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 287 DEGREES 56 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 301.53 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY, ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, CONCAVE NORTHWEST, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 53 DEGREES 58 MINUTES 05 SECONDS FOR AN ARC DISTANCE OF 23.55 FEET TO A POINT OF TANGENCY; SAID LAST DESCRIBED THREE COURSES BEING ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE); THENCE NORTH 00 DEGREES 05 MINUTES 30 SECONDS WEST, ALONG THE WEST LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE), FOR 1519.05 FEET TO THE POINT OF BEGINNING; ALL LYING AND BEING IN THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 39 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS AS SHOWN HEREON REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) THE LEGAL DESCRIPTION AS SHOWN HEREON WAS PREPARED BY THIS FIRM.
- 3) ORDERED BY: AKAI ESTATES LLC
- 4) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.
- 5) THE AREA CONTAINED WITHIN THE LIMITS OF THE HEREIN DESCRIBED RIGHT-OF-WAY IS 105,626 SQUARE FEET, MORE OR LESS (2.425 ACRES, MORE OR LESS).



SHEET 5 OF 5 SHEETS



Schwebke-Shiskin & Associates, Inc.

LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025

PHONE No. (954) 435-7010

FAX No. (954) 438-3288

ORDER NO. 212123

DATE: OCT. 9, 2020

THIS IS NOT A "BOUNDARY SURVEY"

CERTIFICATE OF AUTHORIZATION No. LB-87

PREPARED UNDER MY SUPERVISION:

Ronald A. Fritz

RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

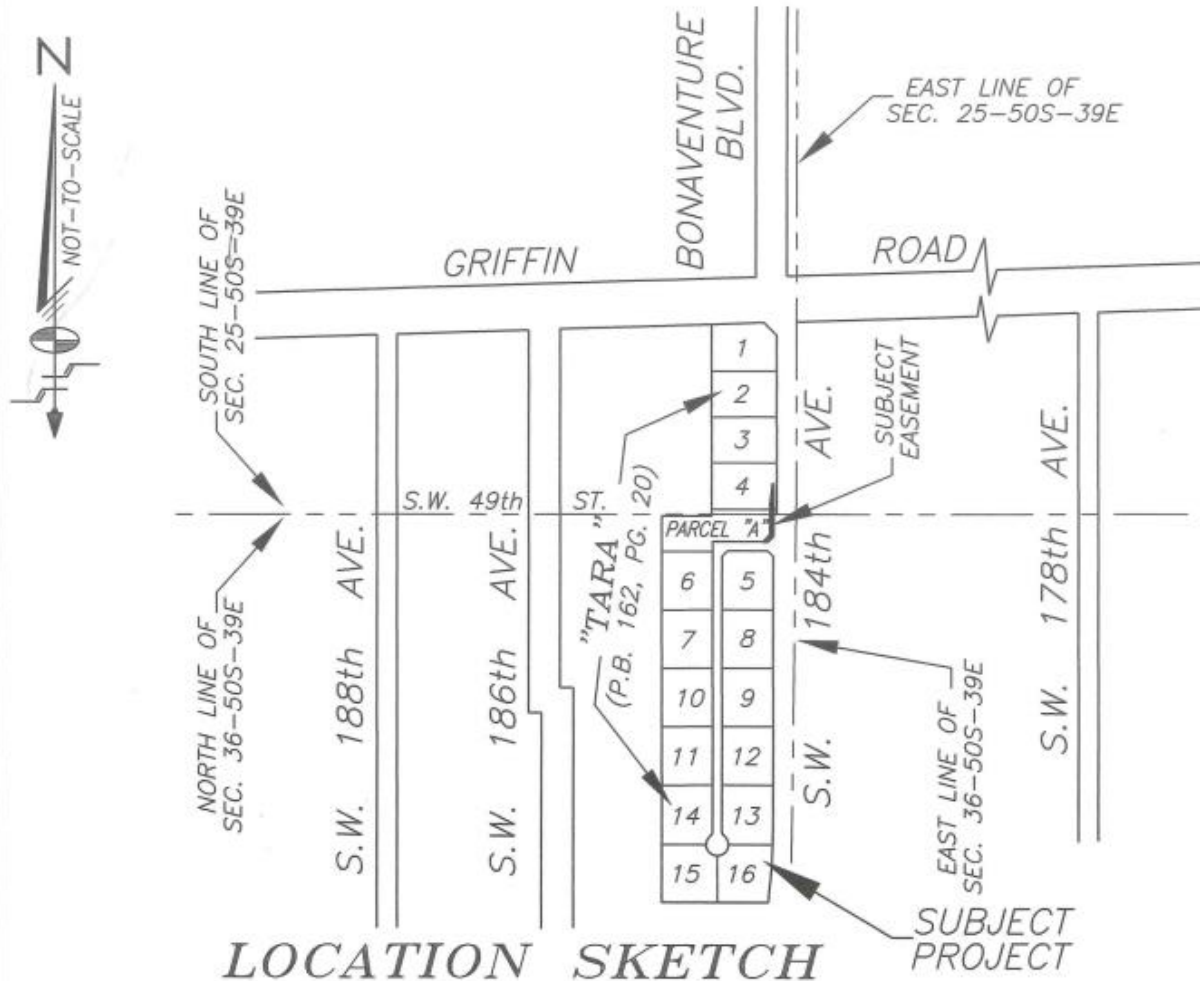
REVISIONS

EXHIBIT "B"

SKETCH AND LEGAL DESCRIPTION OF VACATED TURN LANE EASEMENT

(ATTACHED)

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF PARCEL "A" & LOT 4-"TARA"-P.B. 162, PG. 20-B.C.R.
A PORTION OF A ROAD EASEMENT TO BE VACATED



LOCATION SKETCH

LEGEND:

P.O.C.	DENOTES POINT OF COMMENCEMENT	U.E.	DENOTES UTILITY EASEMENT
P.O.B.	DENOTES POINT OF BEGINNING	D.E.	DENOTES DRAINAGE EASEMENT
P.B.	DENOTES PLAT BOOK	MAINT.	DENOTES MAINTENANCE
O.R.B.	DENOTES OFFICIAL RECORDS BOOK	EASMT.	DENOTES EASEMENT
PG.	DENOTES PAGE	DRAIN.	DENOTES DRAINAGE
PGS.	DENOTES PAGES	NVAL	DENOTES NON-VEHICULAR ACCESS LINE
B.C.R.	DENOTES BROWARD COUNTY RECORDS	---	DENOTES NON-VEHICULAR ACCESS LINE
R/W	DENOTES RIGHT-OF-WAY	⊙	DENOTES CENTER LINE

SHEET 1 OF 3 SHEETS



SCHWEBKE-SHISKIN & ASSOCIATES, INC.
 LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025
 PHONE No.(954)435-7010 FAX No. (954)438-3288
 ORDER NO. 211259
 DATE: JUNE 16, 2020
 THIS IS NOT A "BOUNDARY SURVEY"
 CERTIFICATE OF AUTHORIZATION No. LB-87

PREPARED UNDER MY SUPERVISION:

 RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
 FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS

Map Details:

- Scale:** 1" = 100'
- North Arrow:** Points towards the top-left of the map.
- Section:** SEC. 25, T. 36S., R. 50S.
- Parcels:**
 - PARCEL "A" LAKE EASEMENT:** Located at the top, with a south line of 270.45' and a north line of 275.54'.
 - LOT 4:** Located at the top right, with a south line of 350.42' and a north line of 318.42'.
 - LOT 5:** Located in the center-right, with a south line of 215.23' and a north line of 295.25'.
 - LOT 6:** Located in the center-left, with a south line of 275.47' and a north line of 275.54'.
 - LOT 7:** Located at the bottom left, with a south line of 275.30' and a north line of 275.47'.
 - LOT 8:** Located at the bottom right, with a south line of 275.30' and a north line of 275.47'.
- Streets:**
 - S.W. 49th ST.:** Runs horizontally across the middle of the map.
 - DOWNEY DRIVE:** Runs vertically through the center of the map.
 - S.W. 184th AVE.:** Located on the right side of the map.
- Easements:**
 - 20' LAKE MAINT. EASMT. & UTILITY EASMT.:** Along the western boundary of Parcel A.
 - 20' DRAIN, EASMT. & LAKE MAINT. EASMT.:** Along the western boundary of Lot 6.
 - 11' CANAL EASMT.:** Along the eastern boundary of Lot 5.
 - 15' UTILITY EASEMENT & CANAL MAINT. EASMT.:** Along the eastern boundary of Lot 4.
 - 40' CANAL EASEMENT:** Along the eastern boundary of Lot 5.
 - 10' U.E. (Utility Easement):** Various locations throughout the parcels.
 - 20' D.E. (Drain Easement):** Various locations throughout the parcels.
- Measurements:**
 - Boundaries:** Bearings and distances are provided for all parcel boundaries (e.g., N. 89°54'14"E, 275.54').
 - Diagonals:** Measurements for diagonal lines are provided (e.g., S. 44°54'14"W, 42.46').
 - Angles:** Various angles are noted at vertices (e.g., 40°, 60°, 120°).

	SCHWEBKE-SHISKIN & ASSOCIATES, INC.	REVISIONS
	LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No.(954)435-7010 FAX No:(954)438-3288 ORDER NO. <u>211259</u> DATE: <u>JUNE 16, 2020</u> <i>Prepared Under My Supervision</i> <u>Ronald A. Fritz</u> RONALD A. FRITZ, ASSISTANT VICE PRESIDENT FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767	

THIS IS NOT A "BOUNDARY SURVEY"
CERTIFICATE OF AUTHORIZATION No. LB-87

LEGAL DESCRIPTION TO ACCOMPANY SKETCH
A PORTION OF PARCEL "A" & LOT 4—"TARA"—P.B. 162, PG. 20—B.C.R.
A PORTION OF A ROAD EASEMENT TO BE VACATED

LEGAL DESCRIPTION:

A PORTION OF PARCEL "A" AND LOT 4, ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 4, AS SHOWN ON THE SAID PLAT OF "TARA"; THENCE NORTH 89 DEGREES 55 MINUTES 38 SECONDS EAST, ALONG THE SOUTH LINE OF SAID LOT 4, FOR 318.42 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PORTION OF A ROAD EASEMENT TO BE VACATED; THENCE NORTH 00 DEGREES 05 MINUTES 46 SECONDS WEST, PARALLEL WITH THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 39 EAST, FOR 11.35 FEET; THENCE NORTH 07 DEGREES 02 MINUTES 40 SECONDS EAST FOR 100.78 FEET; SAID LAST DESCRIBED TWO COURSES BEING ALONG THE WEST LIMITS OF THAT CERTAIN ROAD EASEMENT, AS SHOWN ON THE SAID PLAT OF "TARA", LYING WITHIN THE LIMITS OF SAID LOT 4; SAID LAST DESCRIBED TWO COURSES ALSO BEING COINCIDENCE WITH THE NON-VEHICULAR ACCESS LINE, AS SHOWN ON THE SAID PLAT OF "TARA"; THENCE SOUTH 00 DEGREES 07 MINUTES 32 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 60.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES TO, THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 39 EAST, FOR 136.35 FEET TO A POINT ON THE SOUTH LINE OF THE SAID SOUTHEAST 1/4 OF SAID SECTION 25 AND THE NORTH LINE OF SAID SECTION 36; TOWNSHIP 52 SOUTH, RANGE 39 EAST; THENCE SOUTH 00 DEGREES 05 MINUTES 46 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 60.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES TO, THE SAID EAST LINE OF THE SAID NORTHEAST 1/4 OF SAID SECTION 36, FOR 118.62 FEET; THENCE SOUTH 44 DEGREES 54 MINUTES 14 SECONDS WEST FOR 42.46 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 14 SECONDS WEST FOR 16.97 FEET; SAID LAST DESCRIBED TWO COURSES BEING COINCIDENT WITH THE EAST LINES OF SAID PARCEL "A"; THENCE NORTH 44 DEGREES 54 MINUTES 14 SECONDS EAST FOR 49.49 FEET; THENCE NORTH 00 DEGREES 05 MINUTES 46 SECONDS WEST FOR 138.65 FEET TO THE POINT OF BEGINNING; SAID LAST DESCRIBED TWO COURSES BEING ALONG THE WEST LIMITS OF THE 12 FOOT WIDE ROAD EASEMENT, AS SHOWN ON THE SAID PLAT OF "TARA", LYING WITHIN THE LIMITS OF SAID PARCEL "A"; SAID LAST DESCRIBED TWO COURSES ALSO BEING COINCIDENCE WITH THE NON-VEHICULAR ACCESS LINE, AS SHOWN ON THE SAID PLAT OF "TARA"; ALL LYING AND BEING IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50, RANGE 39 EAST AND THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 40 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) ORDERED BY: AKAI ESTATES LLC
- 3) THE AREA CONTAINED WITHIN THE LIMITS OF THE ABOVE DESCRIBED EASEMENT IS 2,295 SQUARE FEET, MORE OR LESS (0.069 ACRES, MORE OR LESS).
- 4) A PORTION OF BROWARD COUNTY, FLORIDA, PROPERTY APPRAISER FOLIO NUMBERS 5039-36-15-0040 AND 5039-36-15-0170.
- 5) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.

SHEET 3 OF 3 SHEETS

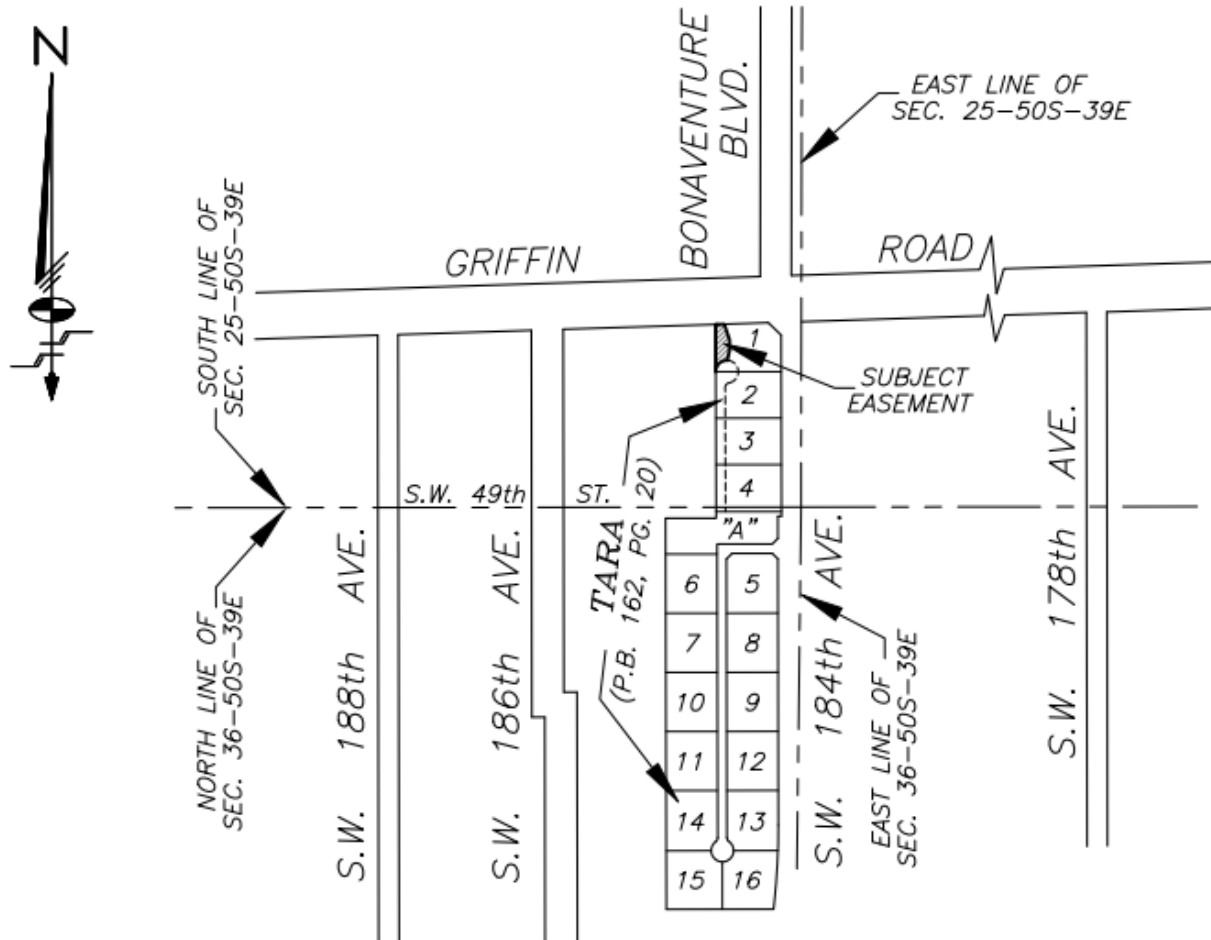
	SCHWEBKE-SHISKIN & ASSOCIATES, INC. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288		REVISIONS _____ _____ _____ _____ _____ _____ _____	
	ORDER NO. 211259 DATE: JUNE 16, 2020 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		PREPARED UNDER MY SUPERVISION  RONALD A. FRITZ, ASSISTANT VICE PRESIDENT FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767	

EXHIBIT "C"

SKETCH AND LEGAL DESCRIPTION OF VACATED AKAI DRIVE EASEMENTS

(ATTACHED)

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOT 1—"TARA"—P.B. 162, PG. 20-B.C.R.
TEMPORARY INGRESS-EGRESS EASEMENT TO BE VACATED



LOCATION SKETCH
 NOT-TO-SCALE

LEGEND:

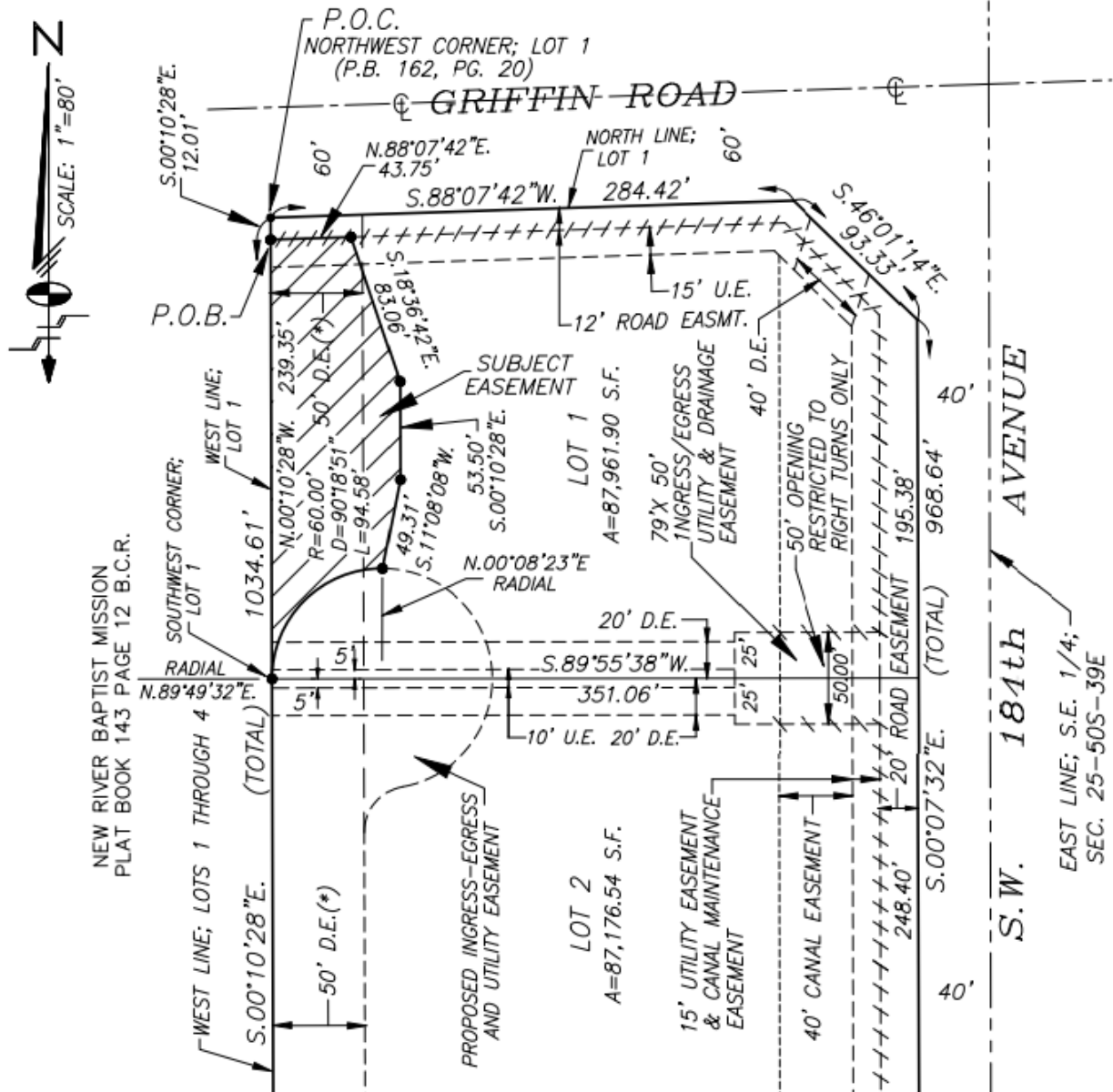
P.O.C.	DENOTES POINT OF COMMENCEMENT	U.E.	DENOTES UTILITY EASEMENT
P.O.B.	DENOTES POINT OF BEGINNING	D.E.	DENOTES DRAINAGE EASEMENT
P.O.T.	DENOTES POINT OF TERMINATION	MAINT.	DENOTES MAINTENANCE
P.B.	DENOTES PLAT BOOK	EASMT.	DENOTES EASEMENT
O.R.B.	DENOTES OFFICIAL RECORDS BOOK	DRAIN.	DENOTES DRAINAGE
PG.	DENOTES PAGE	B.C.R.	DENOTES BROWARD COUNTY RECORDS
PGS.	DENOTES PAGES	D.C.R.	DENOTES MIAMI-DADE COUNTY RECORDS
(*)	DENOTES TO BE VACATED	CL	DENOTES CENTER LINE
SEC.	DENOTES SECTION		

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

SHEET 1 OF 3 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. 203076 DATE: JULY 28, 2014 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		PREPARED UNDER MY SUPERVISION: MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOT 1—"TARA"—P.B. 162, PG. 20—B.C.R.
TEMPORARY INGRESS—EGRESS EASEMENT TO BE VACATED



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

SHEET 2 OF 3 SHEETS

Schwebke-Shiskin & Associates, Inc.		REVISIONS	
LAND SURVEYORS—ENGINEERS—LAND PLANNERS — 3240 CORPORATE WAY—MIRAMAR, FL 33025		DEDICATE TO VACATE	
PHONE No. (954) 435-7010 FAX No. (954) 438-3288		01/20/22 #214615	
ORDER NO. 203076			
DATE: JULY 28, 2014			
THIS IS NOT A "BOUNDARY SURVEY"			
CERTIFICATE OF AUTHORIZATION No. LB-87			
PREPARED UNDER MY SUPERVISION:			
Mark Steven Johnson			
MARK STEVEN JOHNSON, PRINCIPAL			
FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775			

LEGAL DESCRIPTION TO ACCOMPANY SKETCH A PORTION OF LOT 1—"TARA"—P.B. 162, PG. 20—B.C.R. TEMPORARY INGRESS—EGRESS EASEMENT TO BE VACATED

LEGAL DESCRIPTION:

A PORTION OF LOT 1, ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:


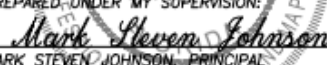
COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 00 DEGREES 10 MINUTES 28 SECONDS EAST, ALONG THE WEST LINE OF SAID LOT 1, FOR 12.01 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED INGRESS—EGRESS UTILITY AND DRAINAGE EASEMENT; THENCE NORTH 88 DEGREES 07 MINUTES 42 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 12.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO, THE NORTH LINE OF SAID LOT 1, FOR 43.75 FEET; SAID LAST DESCRIBED COURSE ALSO BEING ALONG THE SOUTH LIMITS OF THE 12 FOOT WIDE ROAD EASEMENT, AS SHOWN ON THE SAID PLAT OF "TARA", LYING WITHIN THE LIMITS OF SAID LOT 1; THENCE SOUTH 18 DEGREES 36 MINUTES 42 SECONDS EAST FOR 83.06 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 28 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 70.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOT 1, FOR 53.50 FEET; THENCE SOUTH 11 DEGREES 08 MINUTES 08 SECONDS WEST, FOR 49.31 FEET TO A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE; SAID POINT BEARS NORTH 00 DEGREES 08 MINUTES 23 SECONDS EAST FROM THE RADIUS POINT OF THE FOLLOWING DESCRIBED CIRCULAR CURVE; THENCE NORTHWESTERLY, WESTERLY, SOUTHWESTERLY, SOUTHERLY AND SOUTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 90 DEGREES 18 MINUTES 51 SECONDS FOR AN ARC DISTANCE OF 94.58 FEET TO A POINT ON SAID CIRCULAR CURVE; SAID POINT BEING THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 00 DEGREES 10 MINUTES 28 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT 1, FOR 239.35 FEET TO THE POINT OF BEGINNING; ALL LYING AND BEING IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 39 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) ORDERED BY: AKAI ESTATES LLC
- 3) THE LEGAL DESCRIPTION AS SHOWN HEREIN WAS PREPARED BY THIS FIRM.
- 4) THE HEREIN DESCRIBED PARCEL LIES WITHIN A PORTION OF BROWARD COUNTY, FLORIDA, PROPERTY APPRAISER FOLIO NUMBER 5039-36-15-0010.
- 5) ALL RECORDED DOCUMENTS AS SHOWN HEREIN ARE REFERENCED TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, UNLESS OTHERWISE NOTED.
- 6) THIS SKETCH AND LEGAL DESCRIPTION CONSISTS OF THREE (3) SHEETS AND SHALL NOT BE CONSIDERED VALID UNLESS EACH SHEET IS ATTACHED TO THE OTHER.
- 7) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.

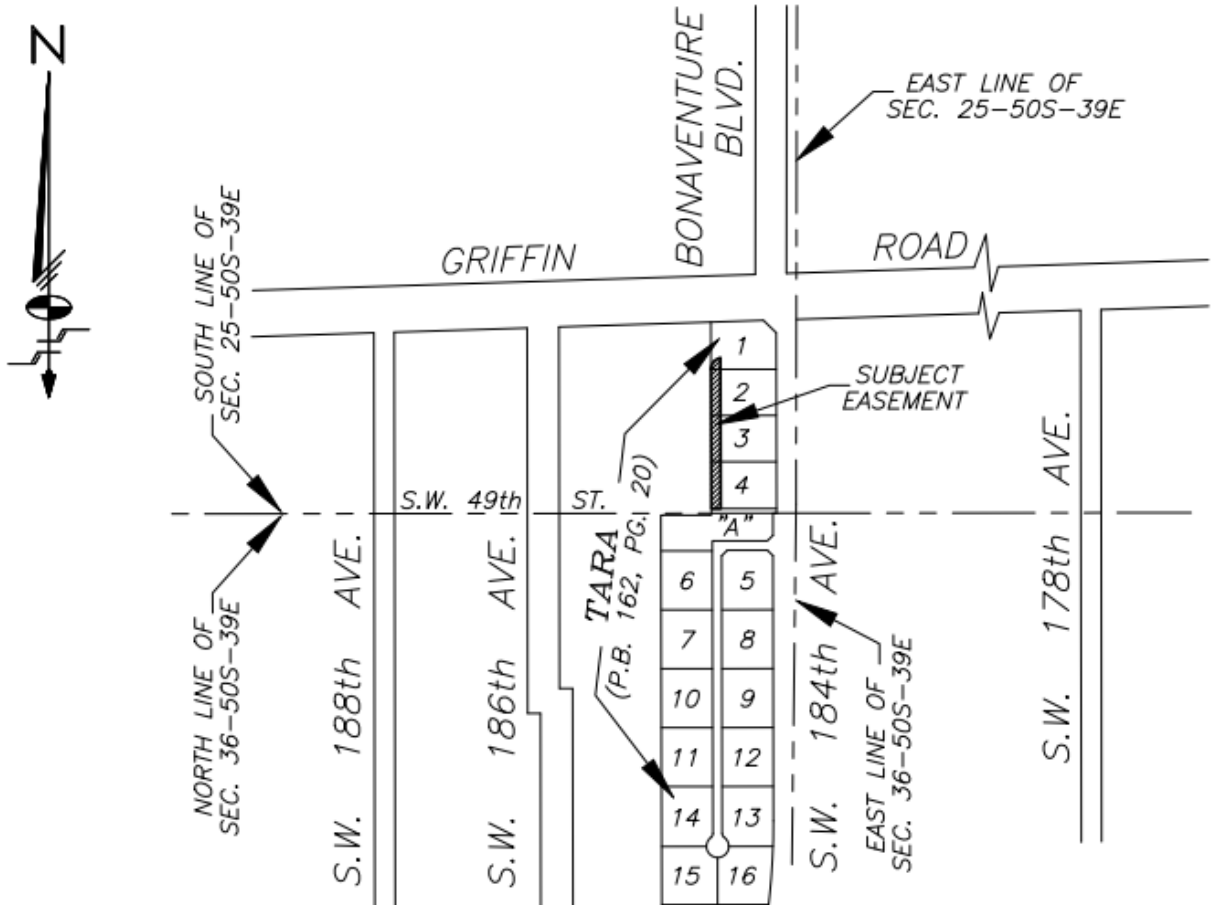
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M., 4775

SHEET 3 OF 3 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS—ENGINEERS—LAND PLANNERS — 3240 CORPORATE WAY—MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288 ORDER NO. 203076 DATE: JULY 28, 2014 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	PREPARED UNDER MY SUPERVISION:  MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775		

K:\365040\DOWNY RANCHES\LEGALS\ACCESS EASEMENT FOR HOA\DWG\HOA—INGRESS EGRESS EASEMENT DEDICATION LOT 1 - VACATION.DWG

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOTS 1 THRU 4—"TARA"—P.B. 162, PG. 20-B.C.R.
INGRESS-EGRESS EASEMENT TO BE VACATED



LOCATION SKETCH
 NOT-TO-SCALE

LEGEND:

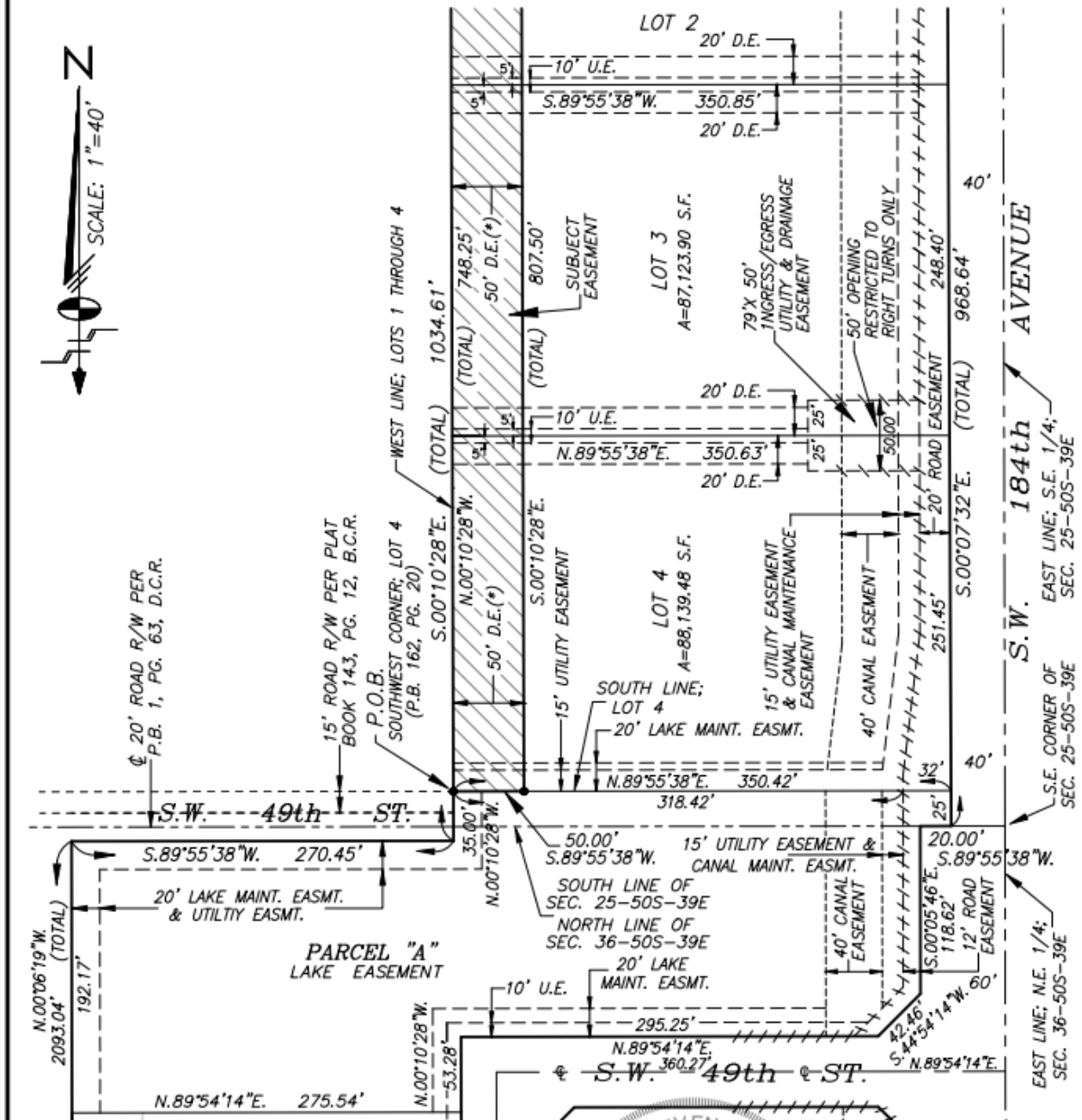
P.O.C. DENOTES POINT OF COMMENCEMENT	U.E. DENOTES UTILITY EASEMENT
P.O.B. DENOTES POINT OF BEGINNING	D.E. DENOTES DRAINAGE EASEMENT
P.O.T. DENOTES POINT OF TERMINATION	MAINT. DENOTES MAINTENANCE
P.B. DENOTES PLAT BOOK	EASMT. DENOTES EASEMENT
O.R.B. DENOTES OFFICIAL RECORDS BOOK	DRAIN. DENOTES DRAINAGE
PG. DENOTES PAGE	B.C.R. DENOTES BROWARD COUNTY RECORDS
PGS. DENOTES PAGES	D.C.R. DENOTES MIAMI-DADE COUNTY RECORDS
(*) DENOTES VACATED	¢ DENOTES CENTER LINE
SEC. DENOTES SECTION	

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M., 4775

SHEET 1 OF 4 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954)435-7010 FAX No. (954)438-3288		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. <u>206315</u> DATE: <u>NOV. 2, 2016</u> THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	PREPARED UNDER MY SUPERVISION: MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775	

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOTS 1 THRU 4—"TARA"—P.B. 162, PG. 20-B.C.R.
INGRESS-EGRESS EASEMENT TO BE VACATED



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. #4775

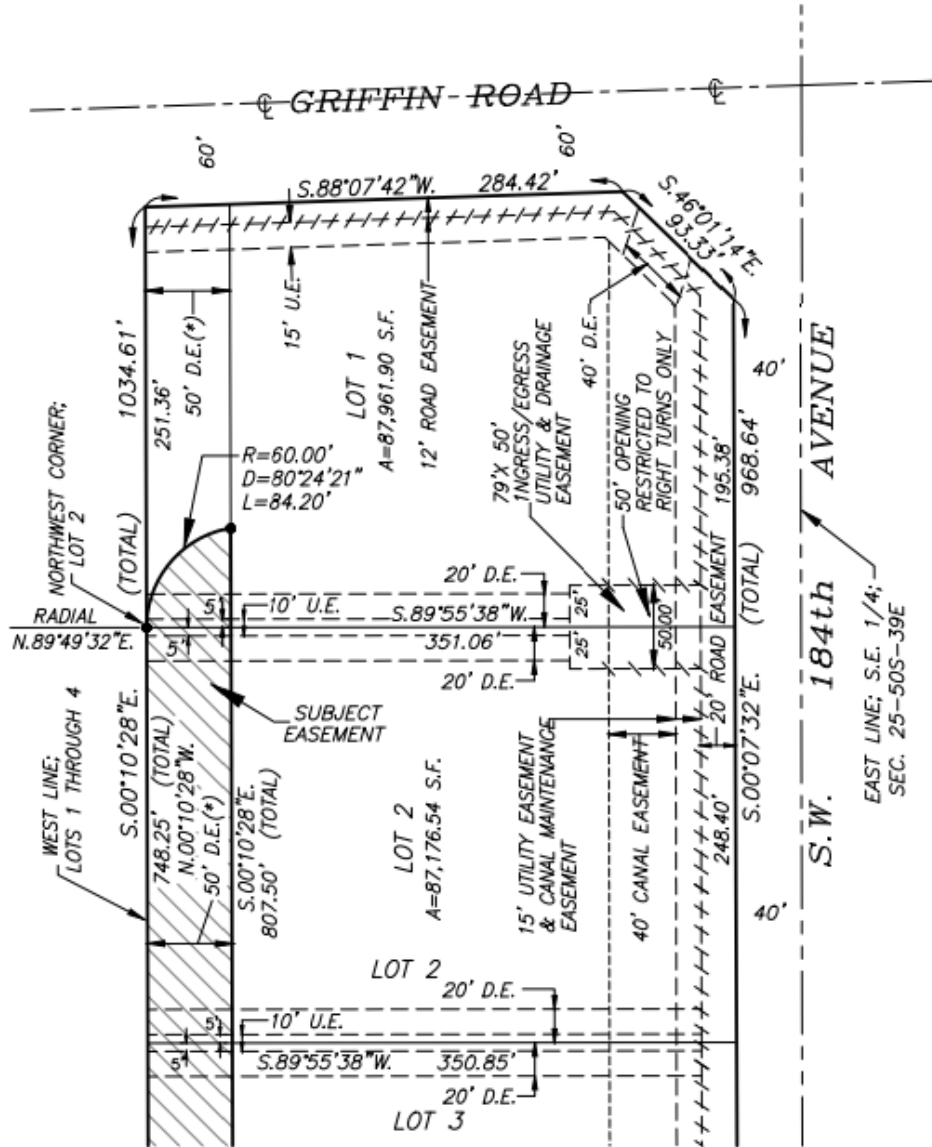
SHEET 2 OF 4 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. 206315 DATE: NOV. 2, 2016		
	THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		
	PREPARED UNDER MY SUPERVISION: 		
	MARK STEVEN JOHNSON, P.S.M. #4775 FLORIDA PROFESSIONAL LAND SURVEYOR No. #783		

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOTS 1 THRU 4—"TARA"—P.B. 162, PG. 20—B.C.R.
INGRESS-EGRESS EASEMENT TO BE VACATED



NEW RIVER BAPTIST MISSION
 PLAT BOOK 143 PAGE 12 B.C.R.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M., 4275

SHEET 3 OF 4 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288 ORDER NO. 206315 DATE: NOV. 2, 2016 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	PREPARED UNDER MY SUPERVISION: MARK STEVEN JOHNSON, P.S.M., 4275 FLORIDA PROFESSIONAL LAND SURVEYOR No. 4275	

LEGAL DESCRIPTION TO ACCOMPANY SKETCH A PORTION OF LOTS 1 THRU 4—"TARA"—P.B. 162, PG. 20—B.C.R. INGRESS—EGRESS EASEMENT TO BE VACATED

LEGAL DESCRIPTION:

A PORTION OF LOTS 1 THROUGH 4, INCLUSIVE, ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 4; THENCE NORTH 00 DEGREES 10 MINUTES 28 SECONDS WEST, ALONG THE WEST LINE OF SAID LOTS 4 THROUGH 2, RESPECTIVELY AND INCLUSIVE, FOR 748.25 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; SAID POINT BEING THE POINT OF CURVATURE OF THE NEXT DESCRIBED CIRCULAR CURVE AND BEARS SOUTH 89 DEGREES 49 MINUTES 32 SECONDS WEST FROM THE RADIUS POINT OF THE FOLLOWING DESCRIBED CIRCULAR CURVE; THENCE NORTHWESTERLY, NORTHERLY, AND NORTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 80 DEGREES 24 MINUTES 21 SECONDS FOR AN ARC DISTANCE OF 84.20 FEET TO A POINT ON SAID CIRCULAR CURVE; THENCE SOUTH 00 DEGREES 10 MINUTES 28 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOTS 2 THROUGH 4, INCLUSIVE, FOR 807.50 FEET; THENCE SOUTH 89 DEGREES 55 MINUTES 38 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 4, FOR 50.00 FEET TO THE POINT OF BEGINNING; ALL LYING AND BEING IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 39 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) ORDERED BY: AKAI ESTATES LLC
- 3) THE LEGAL DESCRIPTION AS SHOWN HEREIN WAS PREPARED BY THIS FIRM.
- 4) THE HEREIN DESCRIBED PARCEL LIES WITHIN A PORTION OF BROWARD COUNTY, FLORIDA, PROPERTY APPRAISER FOLIO NUMBERS 5039-36-15-0010, 5039-36-15-0020, 5039-36-15-0030 AND 5039-36-15-0040.
- 5) ALL RECORDED DOCUMENTS AS SHOWN HEREIN ARE REFERENCED TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, UNLESS OTHERWISE NOTED.
- 6) THIS SKETCH AND LEGAL DESCRIPTION CONSISTS OF FOUR (4) SHEETS AND SHALL NOT BE CONSIDERED VALID UNLESS EACH SHEET IS ATTACHED TO THE OTHER.
- 7) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M., 4775

SHEET 4 OF 4 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS—ENGINEERS—LAND PLANNERS — 3240 CORPORATE WAY—MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288 ORDER NO. 206315 DATE: NOV. 2, 2016 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	PREPARED UNDER MY SUPERVISION:  MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775		

LOCATION SKETCH

NORTH LINE OF SEC. 36-50S-39E

SOUTH LINE OF SEC. 25-50S-39E

S.W. 188th AVE.

S.W. 186th AVE.

S.W. 49th ST.

TARA (P.B. 162, PG. 20)

16

15

14

13

12

11

10

9

8

7

6

5

4

3

2

1

"A"

"B"

S.W. 184th AVE.

S.W. 178th AVE.

GRiffin BLVD.

EAST LINE OF SEC. 36-50S-39E

SUBJECT EASEMENT

ROAD

EAST LINE OF SEC. 25-50S-39E

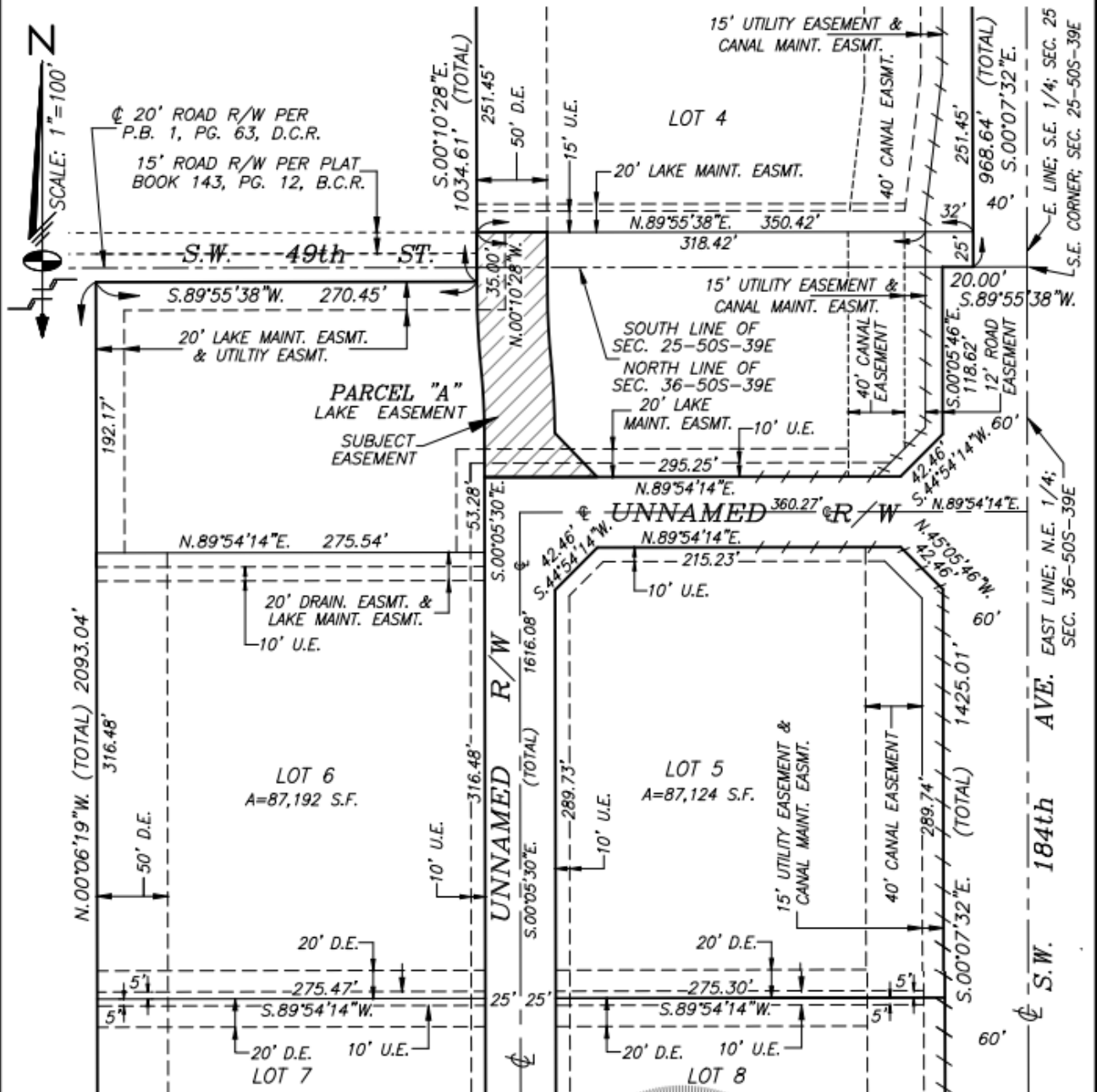
NOT-TO-SCALE

P.O.C.	DENOTES POINT OF COMMENCEMENT	U.E.	DENOTES UTILITY EASEMENT
P.O.B.	DENOTES POINT OF BEGINNING	D.E.	DENOTES DRAINAGE EASEMENT
P.O.T.	DENOTES POINT OF TERMINATION	MAINT.	DENOTES MAINTENANCE
P.B.	DENOTES PLAT BOOK	EASMT.	DENOTES EASEMENT
O.R.B.	DENOTES OFFICIAL RECORDS BOOK	DRAIN.	DENOTES DRAINAGE
PG.	DENOTES PAGE	B.C.R.	DENOTES BROWARD COUNTY RECORDS
PGS.	DENOTES PAGES	D.C.R.	DENOTES MIAMI-DADE COUNTY RECORDS
R/W	DENOTES RIGHT-OF-WAY	¢	DENOTES CENTER LINE
SEC.	DENOTES SECTION		

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

	Schwabke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No.(954)435-7010 FAX No. (954)438-3288		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. <u>203076</u> DATE: <u>JULY 28, 2014</u>	PREPARED UNDER MY SUPERVISION: <u>Mark Steven Johnson</u>	
	THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775	
	(This area is reserved for additional revisions or notes.)		

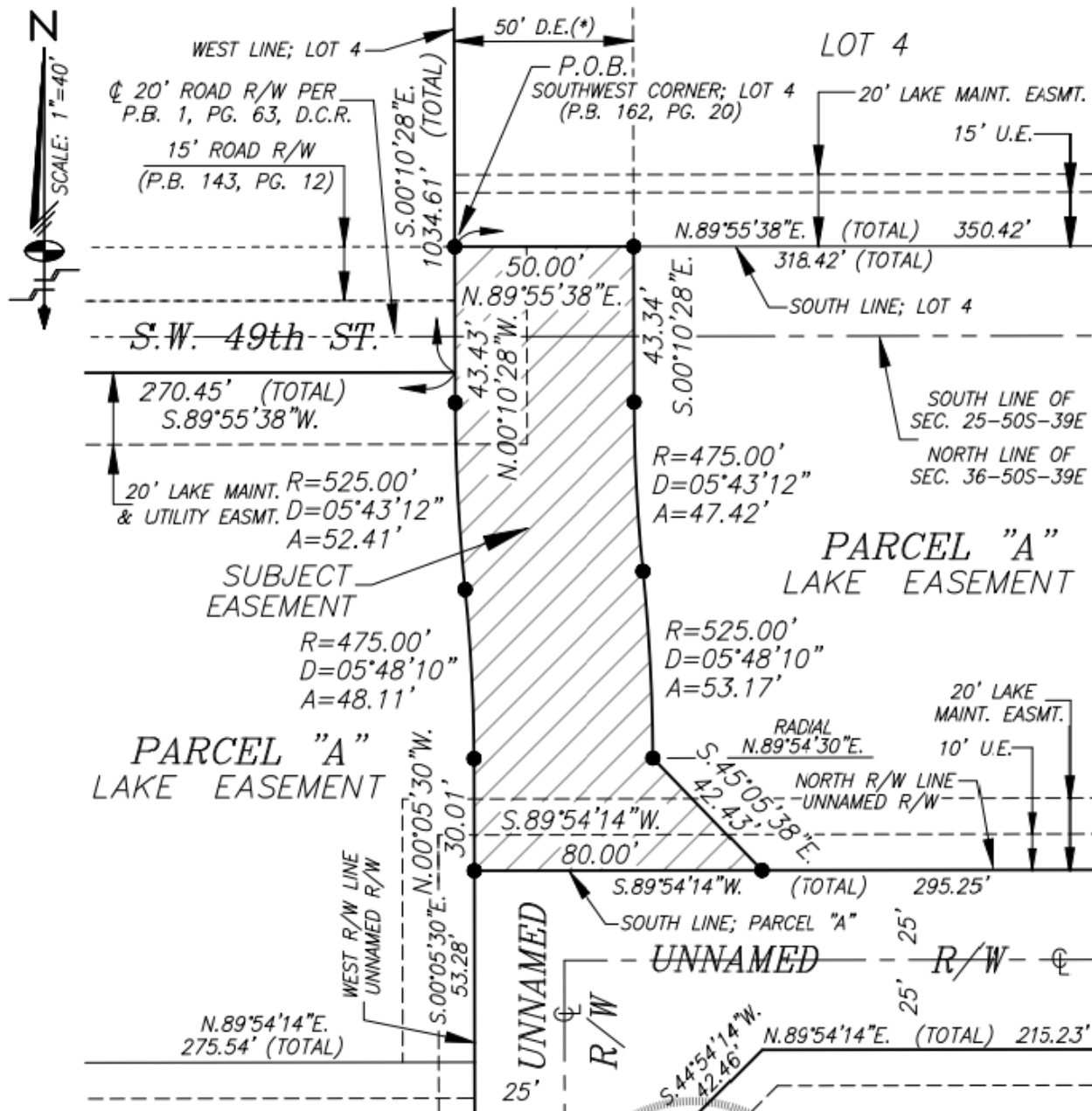
SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF TRACT "A"—"TARA"—P.B. 162, PG. 20—B.C.R.
INGRESS—EGRESS EASEMENT TO BE VACATED



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

SHEET 2 OF 4 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS—ENGINEERS—LAND PLANNERS — 3240 CORPORATE WAY—MIRAMAR, FL 33025 PHONE No.(954)435-7010 FAX No. (954)438-3288 ORDER NO. 203076 DATE: JULY 28, 2014 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		PREPARED UNDER MY SUPERVISION: MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775	REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	Mark Steven Johnson			Mark Steven Johnson



SHEET 3 OF 4 SHEETS



Schwebke-Shiskin & Associates, Inc.
LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025
PHONE No. (954) 435-7010 FAX No. (954) 438-3288

ORDER NO. 203076

DATE: JULY 28, 2014

THIS IS NOT A "BOUNDARY SURVEY"
CERTIFICATE OF AUTHORIZATION No.

FAX No. (954) 438-3288

PREPARED UNDER MY SUPERVISION:

Mark Steven Johnson

MARK STEVEN JOHNSON, PRINCIPAL
FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775

REVISIONS

DEDICATE TO VACATE
01/20/22 #214615

LEGAL DESCRIPTION TO ACCOMPANY SKETCH A PORTION OF TRACT "A"—"TARA"—P.B. 162, PG. 20—B.C.R. INGRESS—EGRESS EASEMENT TO BE VACATED

LEGAL DESCRIPTION:

A PORTION OF PARCEL "A", ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 4, AS SHOWN ON THE SAID PLAT OF "TARA"; THENCE NORTH 89 DEGREES 55 MINUTES 38 SECONDS EAST, ALONG THE SOUTH LINE OF SAID LOT 4, FOR 50.00 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 28 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4, FOR 43.34 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 475.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 43 MINUTES 12 SECONDS FOR AN ARC DISTANCE OF 47.42 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 525.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 48 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 53.17 FEET TO A POINT ON SAID CIRCULAR CURVE; SAID POINT BEARS NORTH 89 DEGREES 54 MINUTES 30 SECONDS EAST FROM THE RADIUS POINT OF THE LAST DESCRIBED CIRCULAR CURVE; THENCE SOUTH 45 DEGREES 05 MINUTES 38 SECONDS EAST FOR 42.43 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 14 SECONDS WEST, ALONG A SOUTH LINE OF SAID PARCEL "A" FOR 80.00 FEET; SAID LAST DESCRIBED COURSE ALSO BEING COINCIDENT WITH THE NORTH RIGHT-OF-WAY LINE OF THAT CERTAIN UNNAMED RIGHT-OF-WAY, AS SHOWN ON THE SAID PLAT OF "TARA"; THENCE NORTH 00 DEGREES 05 MINUTES 30 SECONDS WEST, ALONG THE NORTHERLY EXTENSION OF THE WEST RIGHT-OF-WAY LINE OF THAT CERTAIN UNNAMED RIGHT-OF-WAY, AS SHOWN ON THE SAID PLAT OF "TARA", FOR 30.01 FEET TO POINT OF CURVATURE; THENCE NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 475.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 48 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 48.11 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 525.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 43 MINUTES 12 SECONDS FOR AN ARC DISTANCE OF 52.41 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 10 MINUTES 28 SECONDS WEST, ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4, FOR 43.43 FEET TO THE POINT OF BEGINNING; SAID LAST DESCRIBED COURSE ALSO BEING COINCIDENT WITH A PORTION OF THE LIMITS OF SAID PARCEL "A"; ALL LYING AND BEING IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 39 EAST AND THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 39 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) ORDERED BY: AKAI ESTATES LLC
- 3) THE LEGAL DESCRIPTION AS SHOWN HEREIN WAS PREPARED BY THIS FIRM.
- 4) THE HEREIN DESCRIBED PARCLE LIES WITHIN A PORTION OF BROWARD COUNTY, FLORIDA, PROPERTY APPRAISER FOLIO NUMBER 5039-36-15-0170.
- 5) ALL RECORDED DOCUMENTS AS SHOWN HEREIN ARE REFERENCED TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, UNLESS OTHERWISE NOTED.
- 6) THIS SKETCH AND LEGAL DESCRIPTION CONSISTS OF FOUR (4) SHEETS AND SHALL NOT BE CONSIDERED VALID UNLESS EACH SHEET IS ATTACHED TO THE OTHER.
- 7) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

SHEET 4 OF 4 SHEETS

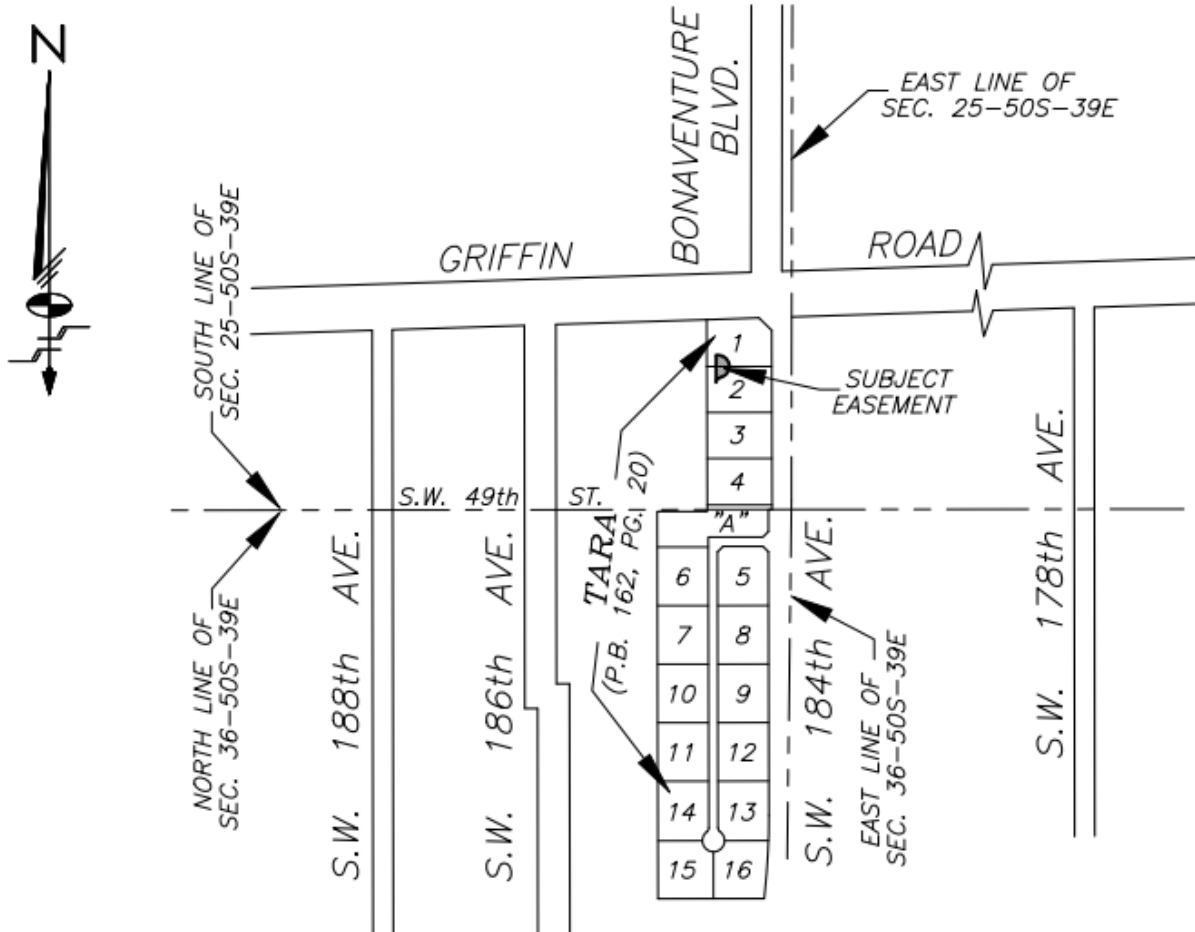
	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS—ENGINEERS—LAND PLANNERS — 3240 CORPORATE WAY—MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. 203076 DATE: JULY 28, 2014 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	PREPARED UNDER MY SUPERVISION:  MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775	

EXHIBIT "D"

SKETCH AND LEGAL DESCRIPTION OF VACATED TURNAROUND EASEMENT

(ATTACHED)

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOTS 1 AND 2—"TARA"—P.B. 162, PG. 20-B.C.R.
FIRE DEPARTMENT TURN AROUND EASEMENT TO BE VACATED



LOCATION SKETCH

NOT-TO-SCALE

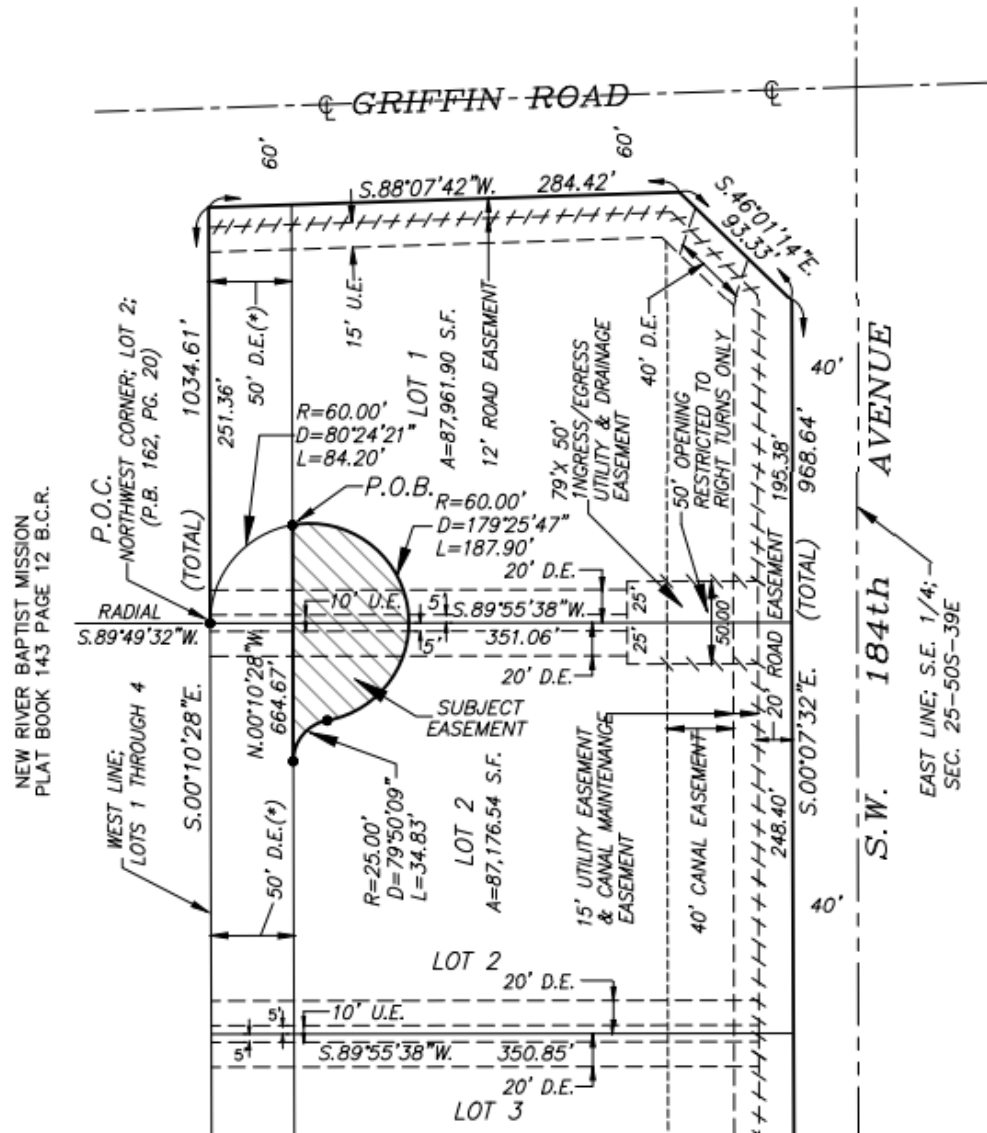
LEGEND:

P.O.C. DENOTES POINT OF COMMENCEMENT	U.E. DENOTES UTILITY EASEMENT
P.O.B. DENOTES POINT OF BEGINNING	D.E. DENOTES DRAINAGE EASEMENT
P.O.T. DENOTES POINT OF TERMINATION	MAINT. DENOTES MAINTENANCE
P.B. DENOTES PLAT BOOK	EASMT. DENOTES EASEMENT
O.R.B. DENOTES OFFICIAL RECORDS BOOK	DRAIN. DENOTES DRAINAGE
PG. DENOTES PAGE	B.C.R. DENOTES BROWARD COUNTY RECORDS
PGS. DENOTES PAGES	D.C.R. DENOTES MIAMI-DADE COUNTY RECORDS
(*) DENOTES VACATED	CL DENOTES CENTER LINE
SEC. DENOTES SECTION	

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, F.S.M., 4775

SHEET 1 OF 3 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954)435-7010 FAX No. (954)438-3288	REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. <u>206315</u> DATE: <u>NOV. 2, 2016</u> THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	PREPARED UNDER MY SUPERVISION: MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775



SHEET 2 OF 3 SHEETS

MARK STEVEN JOHNSON, PRINCIPAL
FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775

DEDICATE TO VACATE
01/20/22 #214615

LEGAL DESCRIPTION TO ACCOMPANY SKETCH A PORTION OF LOTS 1 AND 2—"TARA"—P.B. 162, PG. 20—B.C.R. FIRE DEPARTMENT TURN AROUND EASEMENT TO BE VACATED

LEGAL DESCRIPTION:

A PORTION OF LOTS 1 AND 2, ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF LOT 2; AS SHOWN ON THE SAID PLAT OF "TARA"; SAID POINT BEING A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE AND BEARS SOUTH 89 DEGREES 49 MINUTES 32 SECONDS WEST FROM THE RADIUS POINT OF THE FOLLOWING DESCRIBED CIRCULAR CURVE; THENCE NORTHWESTERLY, NORTHERLY AND NORTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 80 DEGREES 24 MINUTES 41 SECONDS FOR AN ARC DISTANCE OF 84.20 FEET TO A POINT ON THE LAST DESCRIBED CIRCULAR CURVE; SAID POINT BEING THE POINT OF BEGINNING OF THE FOLLOWING FIRE DEPARTMENT TURN AROUND EASEMENT; THENCE CONTINUE NORTHEASTERLY, EASTERLY, SOUTHEASTERLY, SOUTHERLY AND SOUTHWESTERLY ALONG THE LAST DESCRIBED CIRCULAR CURVE, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 179 DEGREES 25 MINUTES 47 SECONDS FOR AN ARC DISTANCE OF 187.90 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHWESTERLY, SOUTHERLY AND SOUTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 79 DEGREES 50 MINUTES 09 SECONDS FOR AN ARC DISTANCE OF 34.83 FEET TO A POINT ON SAID CIRCULAR CURVE AND LYING ON THE FOLLOWING DESCRIBED COURSE; THENCE NORTH 00 DEGREES 10 MINUTES 28 SECONDS WEST, ALONG A LINE THAT IS PARALLEL WITH AND 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOTS 2 AND 1, RESPECTIVELY, FOR 142.83 FEET TO THE POINT OF BEGINNING; ALL LYING AND BEING IN THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 39 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) ORDERED BY: AKAI ESTATES LLC
- 3) THE LEGAL DESCRIPTION AS SHOWN HEREIN WAS PREPARED BY THIS FIRM.
- 4) THE HEREIN DESCRIBED PARCEL LIES WITHIN A PORTION OF BROWARD COUNTY, FLORIDA, PROPERTY APPRAISER FOLIO NUMBER 5039-36-15-0010 AND 5039-36-15-0020.
- 5) ALL RECORDED DOCUMENTS AS SHOWN HEREIN ARE REFERENCED TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, UNLESS OTHERWISE NOTED.
- 6) THIS SKETCH AND LEGAL DESCRIPTION CONSISTS OF THREE (3) SHEETS AND SHALL NOT BE CONSIDERED VALID UNLESS EACH SHEET IS ATTACHED TO THE OTHER.
- 7) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M., 4775

SHEET 3 OF 3 SHEETS


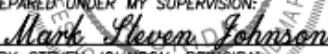
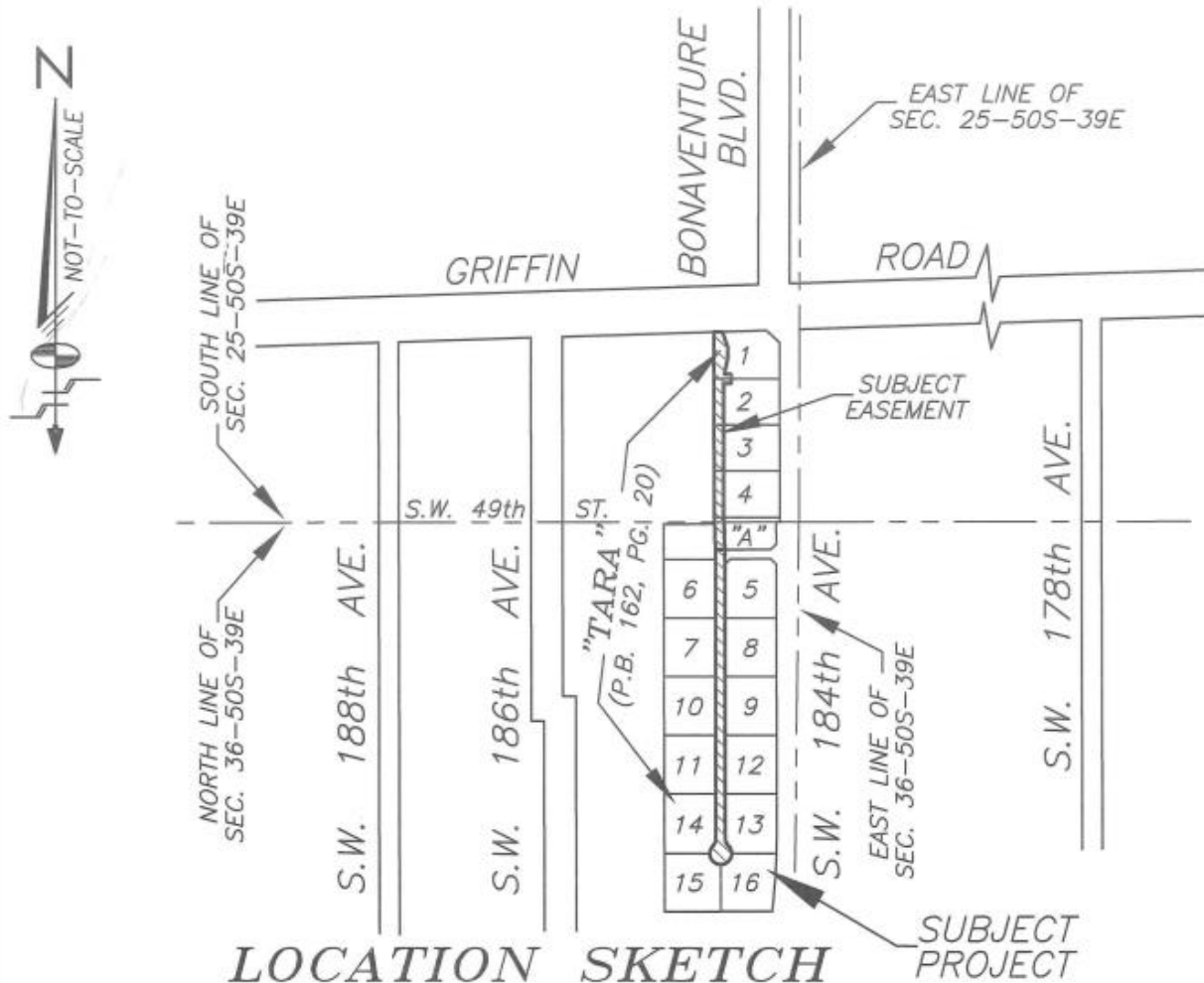
	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954) 435-7010 FAX No. (954) 438-3288		REVISIONS DEDICATE TO VACATE 01/20/22 #214615
	ORDER NO. 206315 DATE: NOV. 2, 2016 THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	PREPARED UNDER MY SUPERVISION:  MARK STEVEN JOHNSON, PRINCIPAL FLORIDA PROFESSIONAL LAND SURVEYOR No. 4775	

EXHIBIT "E"

SKETCH AND LEGAL DESCRIPTION OF NEW INGRESS, EGRESS, DRAINAGE
AND UTILITIES EASEMENT

(ATTACHED)

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOTS 1 THRU 4, TRACT "A" & UNNAMED R/W-"TARA"-P.B. 162, PG. 20-B.C.R.
PRIVATE ROAD TO BE DEDICATED



LEGEND:

P.O.C.	DENOTES POINT OF COMMENCEMENT	U.E.	DENOTES UTILITY EASEMENT
P.O.B.	DENOTES POINT OF BEGINNING	D.E.	DENOTES DRAINAGE EASEMENT
P.B.	DENOTES PLAT BOOK	MAINT.	DENOTES MAINTENANCE
O.R.B.	DENOTES OFFICIAL RECORDS BOOK	EASMT.	DENOTES EASEMENT
PG.	DENOTES PAGE	DRAIN.	DENOTES DRAINAGE
PGS.	DENOTES PAGES	B.C.R.	DENOTES BROWARD COUNTY RECORDS
R/W	DENOTES RIGHT-OF-WAY	NVAL	DENOTES NON-VEHICULAR ACCESS LINE
⊙	DENOTES CENTER LINE	///	DENOTES NON-VEHICULAR ACCESS LINE
SEC.	DENOTES SECTION		

EXHIBIT "B"
SHEET 1 OF 9 SHEETS



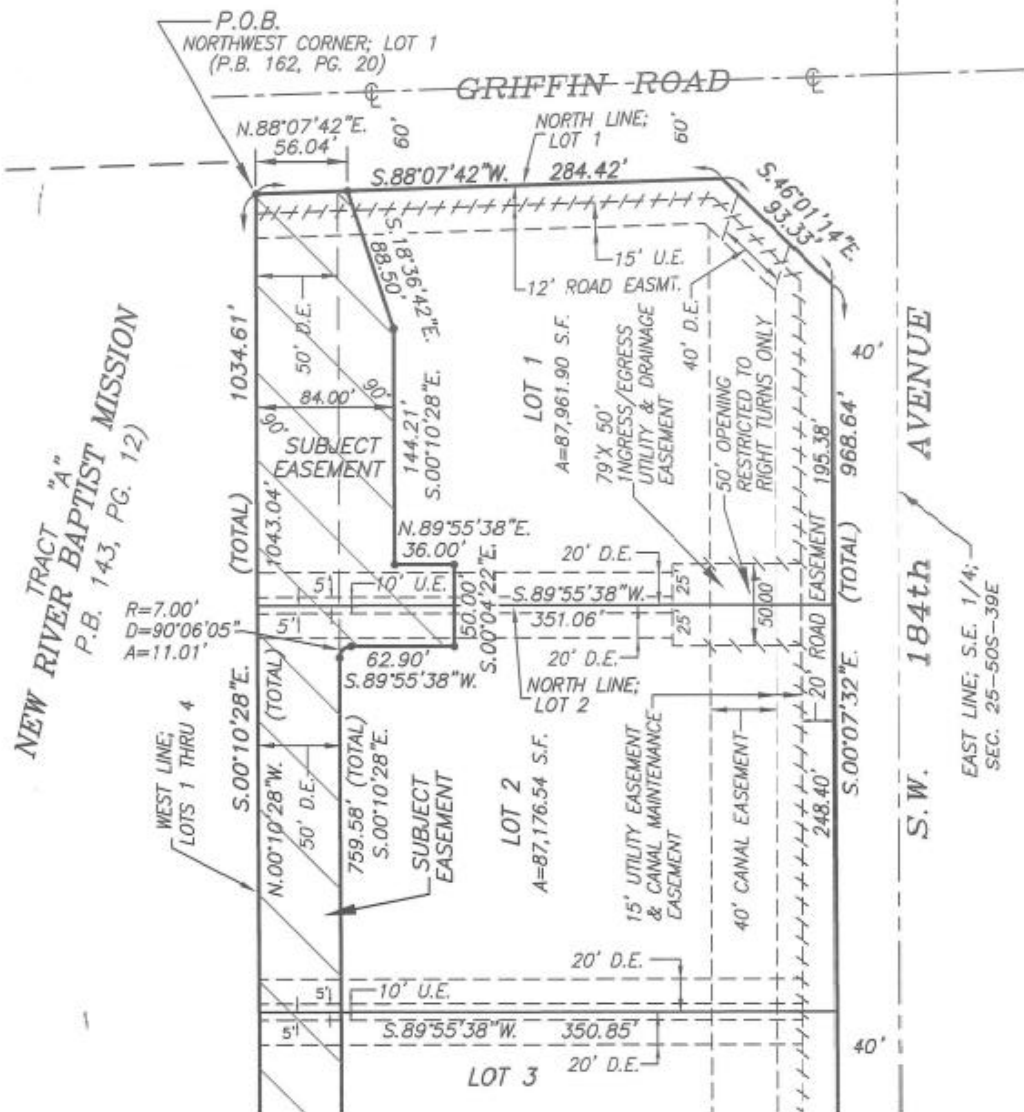
Schwebke-Shiskin & Associates, Inc.
LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025
PHONE No.(954)435-7010 FAX No. (954)438-8288

ORDER NO. 212123
DATE: OCT. 9, 2020
THIS IS NOT A "BOUNDARY SURVEY"
CERTIFICATE OF AUTHORIZATION No. LB-87


PREPARED UNDER MY SUPERVISION

RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS
COUNTY REQUIREMENTS
11/23/20-#212123



REDAK A. E. T.
CERTIFICATE

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No.(954)435-7010 FAX No. (954)438-3288		REVISIONS COUNTY REQUIREMENTS 11/23/20-#212123
	ORDER NO. <u>212123</u> DATE: <u>OCT. 9, 2020</u> THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		PREPARED UNDER MY SUPERVISION:  RONALD A. FRITZ, ASSISTANT VICE PRESIDENT FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

A PORTION OF LOTS 1 THRU 4, TRACT "A" & UNNAMED R/W—"TARA"—P.B. 162, PG. 20—B.C.R.
PRIVATE ROAD TO BE DEDICATED

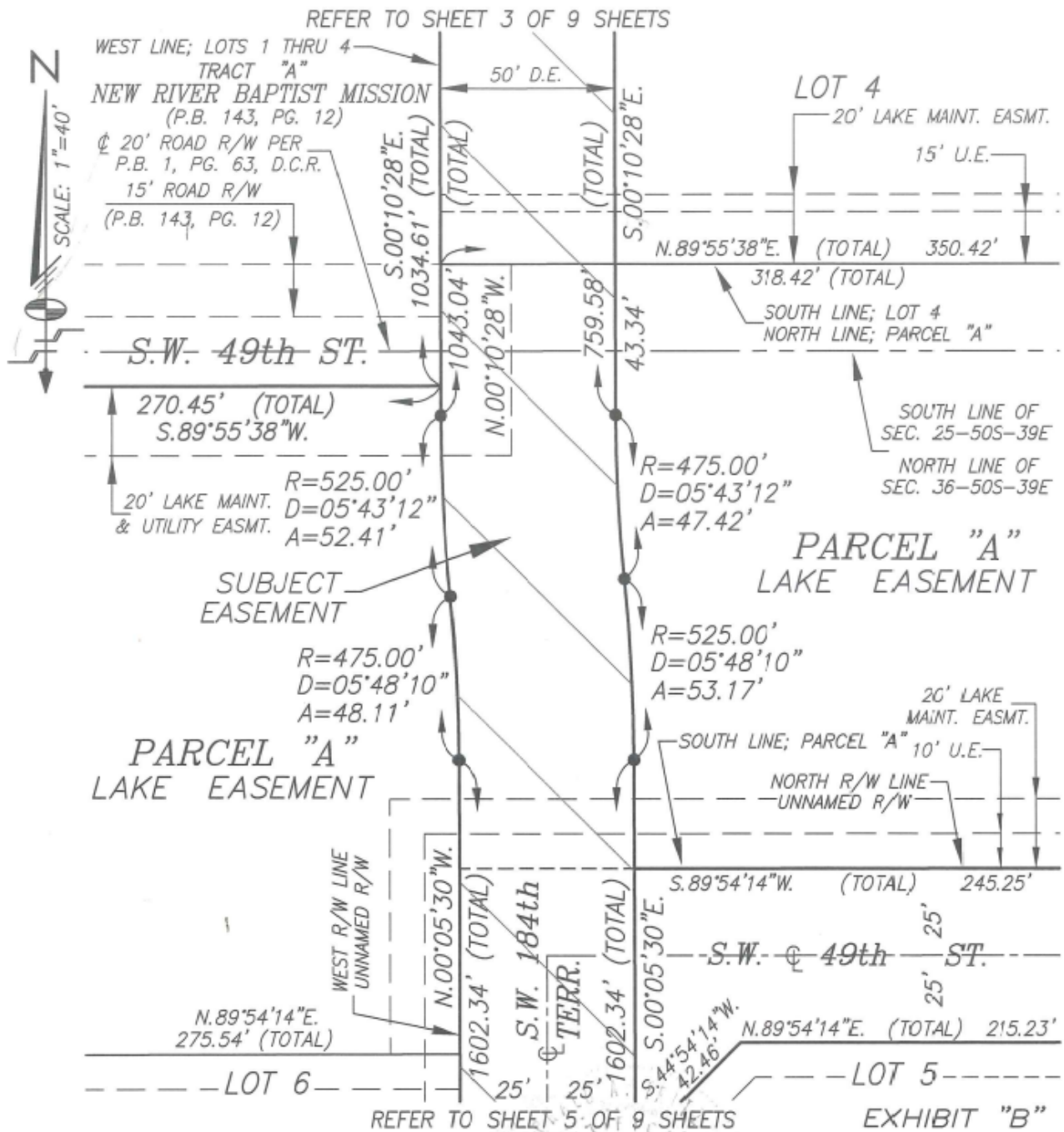


EXHIBIT "B"
SHEET 4 OF 9 SHEETS



Schwebke-Shiskin & Associates, Inc.
LAND SURVEYORS—ENGINEERS—LAND PLANNERS — 3240 CORPORATE WAY—MIAMI, FL 33025
PHONE No. (954) 435-7010 FAX No. (954) 438-3288

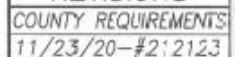
ORDER NO. 212123
DATE: OCT. 9, 2020
THIS IS NOT A "BOUNDARY SURVEY"
CERTIFICATE OF AUTHORIZATION No. LB-87

PREPARED UNDER MY SUPERVISION

Ronald A. Fritz
RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS
COUNTY REQUIREMENTS
11/23/20-#212123

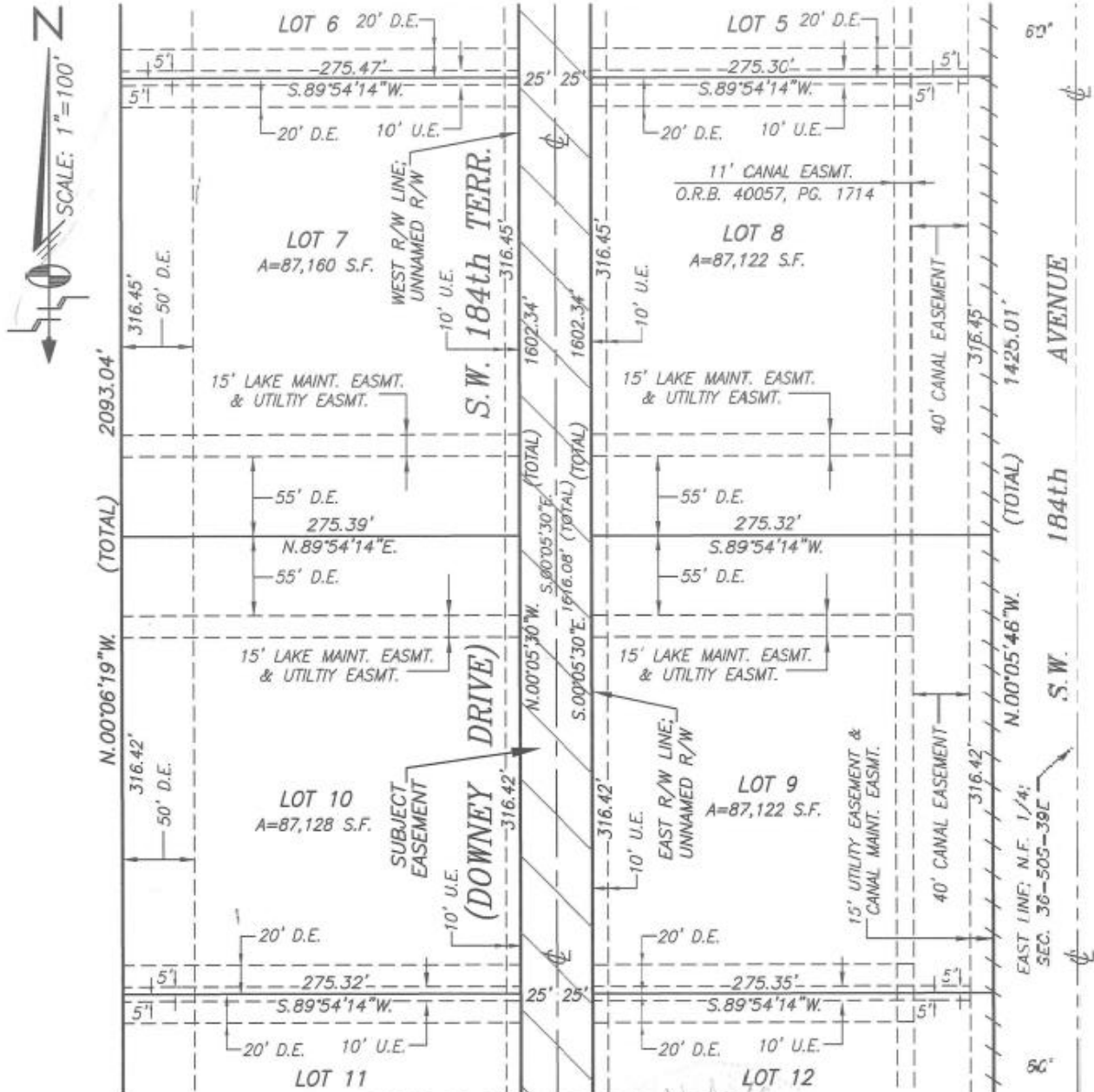
REFER TO SHEET 3 OF 9 SHEETS



SKETCH TO ACCOMPANY LEGAL DESCRIPTION

A PORTION OF LOTS 1 THRU 4, TRACT "A" & UNNAMED R/W-"TARA"-P.B. 162, PG. 20-B.C.R.
PRIVATE ROAD TO BE DEDICATED

REFER TO SHEET 5 OF 9 SHEETS



REFER TO SHEET 7 OF 9 SHEETS

EXHIBIT "B"
SHEET 6 OF 9 SHEETS



Schwebke-Shiskin & Associates, Inc.
LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025
PHONE No.(954)435-7010 FAX No. (954)438-3288

ORDER NO. 212123
DATE: OCT. 9, 2020
THIS IS NOT A "BOUNDARY SURVEY"
CERTIFICATE OF AUTHORIZATION No. LB-87

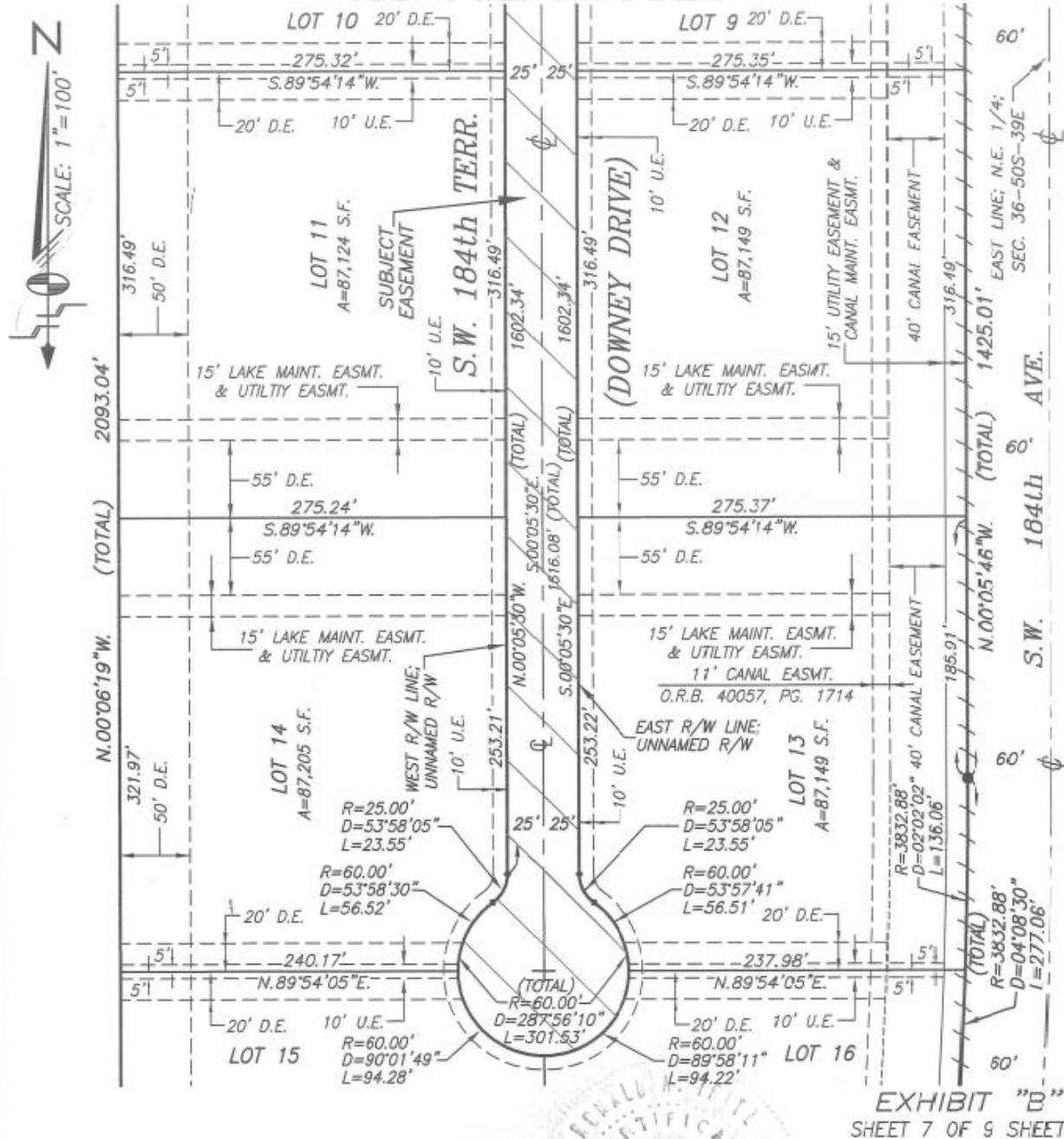
PREPARED UNDER MY SUPERVISION

RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS
COUNTY REQUIREMENTS
11/23/20-#212123

SKETCH TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOTS 1 THRU 4, TRACT "A" & UNNAMED R/W-"TARA"-P.B. 162, PG. 20-B.C.R.
PRIVATE ROAD TO BE DEDICATED

REFER TO SHEET 6 OF 9 SHEETS



Schwebke-Shiskin & Associates, Inc.
LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025
PHONE No.(954)435-7010 FAX No.(954)438-3288
ORDER NO. 212123
DATE: OCT. 9, 2020
THIS IS NOT A "BOUNDARY SURVEY"
CERTIFICATE OF AUTHORIZATION No. LB-87
PREPARED UNDER MY SUPERVISION
Ronald A. Fritz
RONALD A. FRITZ, ASSISTANT VICE PRESIDENT
FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767

REVISIONS
COUNTY REQUIREMENTS
11/23/20-#212123

LEGAL DESCRIPTION TO ACCOMPANY SKETCH
A PORTION OF LOTS 1 THRU 4, TRACT "A" & UNNAMED R/W-"TARA"-P.B. 162, PG. 20-B.C.R.
PRIVATE ROAD TO BE DEDICATED

LEGAL DESCRIPTION:

A PORTION OF LOTS 1 THROUGH 4, INCLUSIVE; TOGETHER WITH A PORTION OF PARCEL "A"; ALSO TOGETHER WITH A PORTION OF THAT CERTAIN UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE) ACCORDING TO THE PLAT OF "TARA", AS RECORDED IN PLAT BOOK 162 AT PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTH 88 DEGREES 07 MINUTES 42 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, FOR 56.04 FEET; THENCE SOUTH 18 DEGREES 36 MINUTES 42 SECONDS EAST FOR 88.50 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 28 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 84.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOT 1, FOR 144.21 FEET; THENCE NORTH 89 DEGREES 55 MINUTES 38 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 25.00 FEET NORTH OF, AS MEASURED AT RIGHT ANGLES TO, THE NORTH LINE OF SAID LOT 2, FOR 36.00 FEET; THENCE SOUTH 00 DEGREES 04 MINUTES 22 SECONDS EAST, AT RIGHT ANGLES TO THE LAST AND NEXT DESCRIBED COURSES, FOR 50.00 FEET; THENCE SOUTH 89 DEGREES 55 MINUTES 38 SECONDS WEST, ALONG A LINE THAT IS PARALLEL WITH AND 25.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO, THE NORTH LINE OF SAID LOT 2, FOR 62.90 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY, WESTERLY AND SOUTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 7.00 FEET AND A CENTRAL ANGLE OF 90 DEGREES 06 MINUTES 05 SECONDS FOR AN ARC DISTANCE OF 11.01 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00 DEGREES 10 MINUTES 28 SECONDS EAST, ALONG A LINE THAT IS PARALLEL WITH AND 50.00 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF LOTS 2 THROUGH 4, INCLUSIVE, AND THEIR SOUTHERLY EXTENSION, FOR 759.58 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT, CONCAVE EASTERLY, HAVING A RADIUS OF 475.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 43 MINUTES 12 SECONDS FOR AN ARC DISTANCE OF 47.42 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE RIGHT, CONCAVE WESTERLY, HAVING A RADIUS OF 525.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 48 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 53.17 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00 DEGREES 05 MINUTES 30 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF THAT CERTAIN UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE), AS SHOWN ON THE SAID PLAT OF "TARA", AND ITS NORTHERLY EXTENSION, FOR 1602.34 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 53 DEGREES 58 MINUTES 05 SECONDS FOR AN ARC DISTANCE OF 23.55 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY, SOUTHERLY, SOUTHWESTERLY, WESTERLY, NORTHWESTERLY, NORTHERLY AND NORTHEASTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE RIGHT, CONCAVE NORTHERLY, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 287 DEGREES 56 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 301.53 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY, ALONG THE ARC

(CONTINUED ON SHEET 9 OF 9 SHEETS)

EXHIBIT "B"
SHEET 8 OF 9 SHEETS

	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954)435-7010 FAX No. (954)438-3288		REVISIONS COUNTY REQUIREMENTS 11/23/20-#212123
	ORDER NO. <u>212123</u> DATE: <u>OCT. 9, 2020</u> THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87	PREPARED UNDER MY SUPERVISION:  RONALD A. FRITZ, ASSISTANT, VICE PRESIDENT FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767	

LEGAL DESCRIPTION TO ACCOMPANY SKETCH
A PORTION OF LOTS 1 THRU 4, TRACT "A" & UNNAMED R/W-"TARA"-P.B. 162, PG. 20-B.C.R.
PRIVATE ROAD TO BE DEDICATED

LEGAL DESCRIPTION:
(CONTINUED FROM SHEET 8 OF 9 SHEETS)

OF SAID CIRCULAR CURVE TO THE LEFT, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 53 DEGREES 58 MINUTES 05 SECONDS FOR AN ARC DISTANCE OF 23.55 FEET TO A POINT OF TANGENCY; SAID LAST DESCRIBED THREE COURSES BEING ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE); THENCE NORTH 00 DEGREES 05 MINUTES 30 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID UNNAMED RIGHT-OF-WAY (SOUTHWEST 184th TERRACE), FOR 1602.34 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT, CONCAVE WESTERLY, HAVING A RADIUS OF 475.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 48 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 48.11 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE RIGHT, CONCAVE EASTERLY, HAVING A RADIUS OF 525.00 FEET AND A CENTRAL ANGLE OF 05 DEGREES 43 MINUTES 12 SECONDS FOR AN ARC DISTANCE OF 52.41 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 10 MINUTES 28 SECONDS WEST, ALONG A WEST LINE OF SAID PARCEL "A" AND THE WEST LINE OF SAID LOT 4 THROUGH LOT 1, INCLUSIVE AND RESPECTIVELY, FOR 1043.04 FEET TO THE POINT OF BEGINNING; ALL LYING AND BEING 'N THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 39 EAST AND THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 39 EAST, TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREIN REFER TO AN ASSUMED BEARING OF SOUTH 88 DEGREES 07 MINUTES 42 SECONDS WEST ALONG THE CENTER LINE OF GRIFFIN ROAD AS SHOWN ON THE HEREIN REFERENCED PLAT OF "TARA".
- 2) THE LEGAL DESCRIPTION AS SHOWN HEREIN WAS PREPARED BY THIS FIRM.
- 3) ORDERED BY: AKAI ESTATES LLC
- 4) THE AREA CONTAINED WITHIN THE LIMITS OF THE HEREIN DESCRIBED EASEMENT IS 68,806 SQUARE FEET, MORE OR LESS (1.579 ACRES, MORE OR LESS).
- 5) THE HEREIN DESCRIBED EASEMENT LIES WITHIN A PORTION OF BROWARD COUNTY, FLORIDA, PROPERTY APPRAISER FOLIO NUMBERS 5039-36-15-0010, 5039-36-15-0020, 5039-36-15-0030, 5039-36-15-0040 AND 5039-36-15-0170.
- 6) AUTHENTIC COPIES OF THIS SKETCH AND LEGAL DESCRIPTION MUST BEAR THE ORIGINAL SIGNATURE AND SEAL OF THE ATTESTING FLORIDA LICENSED SURVEYOR AND MAPPER.

EXHIBIT "B"
SHEET 9 OF 9 SHEETS



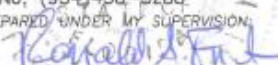
	Schwebke-Shiskin & Associates, Inc. LAND SURVEYORS-ENGINEERS-LAND PLANNERS - 3240 CORPORATE WAY-MIRAMAR, FL 33025 PHONE No. (954)435-7010 FAX No. (954)438-3288 ORDER NO. <u>212123</u> DATE: <u>OCT. 9, 2020</u> THIS IS NOT A "BOUNDARY SURVEY" CERTIFICATE OF AUTHORIZATION No. LB-87		REVISIONS COUNTY REQUIREMENTS 11/23/20-#212123
	 PREPARED UNDER MY SUPERVISION:  RONALD A. FRITZ, ASSISTANT VICE PRESIDENT FLORIDA PROFESSIONAL LAND SURVEYOR No. 2767		

EXHIBIT "F"

SKETCH AND LEGAL DESCRIPTION OF RECREATIONAL TRAIL EASEMENT

(TO BE PROVIDED PRIOR TO SECOND READING)

TOWN OF SOUTHWEST RANCHES TOWN COUNCIL AGENDA REPORT

February 24, 2022

SUBJECT: Application No. VC-31-22 to vacate right-of-way and road-related easements

LOCATION: Akai Estates development located at the southwest quadrant of the Griffin Road and SW 184th Avenue

**OWNER/
PETITIONER:** Akai Estates, LLC

AGENT: Schwebke-Shiskin & Associates, Inc.

**LAND USE PLAN
DESIGNATION:** Rural Ranches (1 DU / 2.0 net or 2.5 gross acres)

ZONING: A-1 – Agricultural Estate District (1 DU/ 2.0 net or 2.5 gross acres)

EXHIBITS: Staff report, Ordinance, aerial photograph, sketch and legal descriptions of right-of-way and easements to be vacated and granted, mail notice map and mailing list.

REQUEST

Akai Estates, LLC ("Petitioner") requests vacation and abandonment of road-related easements and rights-of-way within the Akai Estates development in order to permanently establish access to the community exclusively from Griffin Road. The substantive aspect of the request involves abandoning the future planned access to 184th Avenue. The technical aspect of the request involves replacing the various instruments that created Akai Drive with a single new easement instrument (without changing the configuration) in order to comply with a technical requirement of the Broward County Land Development Code.

BACKGROUND

The property was platted as the Tara Plat in 1995. The plat configured lots 1 through 4 to access SW 184th Avenue directly, with lots 5 through 16 accessing the internal street, now Akai Drive, that extended south from the street stub connecting it to SW 184th Avenue. The Town Council approved the Akai Estates Site Plan in 2017, years after the property had been site planned as Downey Equestrian Ranches. The 2017 approval involved numerous easement vacations and re-dedications to satisfy new SBDD requirements, extend Akai Drive north to Griffin Road, and eliminate direct access from lots 1 through 4 to SW 184th Avenue. In the event of future SW 184th Avenue

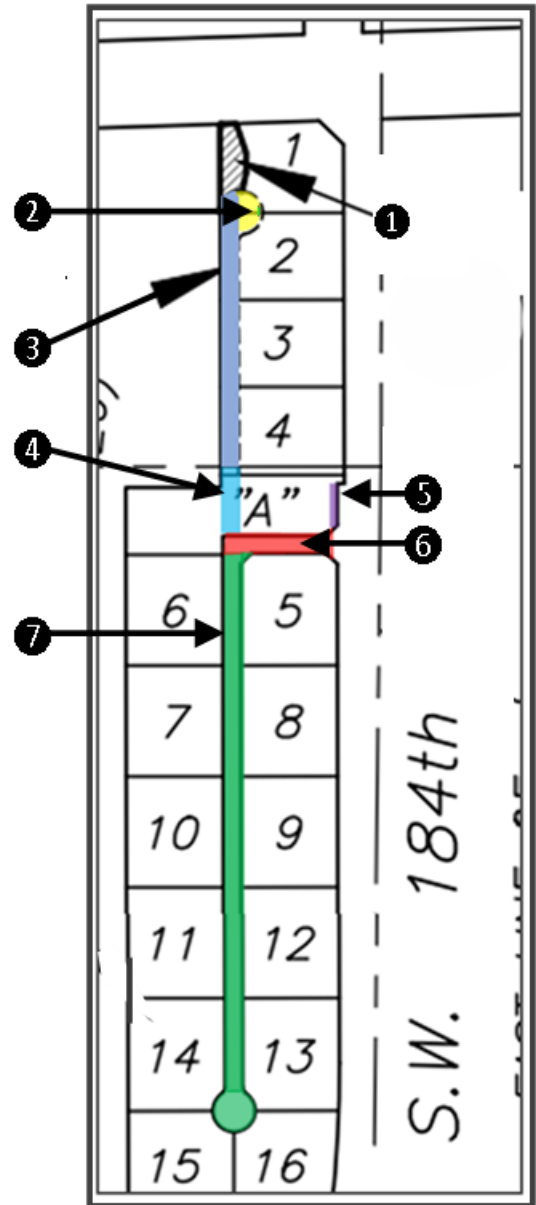
construction, the Griffin Road access would be closed, and the northern extension of Akai Drive would terminate in a cul-de-sac.

ANALYSIS

Broward County Highway Construction and Engineering Division ("BCHCED") has consented to granting Akai Estates direct and permanent access to Griffin Road, thus eliminating the frontage road arrangement. BCHCED is currently processing an application to create an opening in the Non-Vehicular Access Line along Griffin Road at Akai Drive. In authorizing permanent access to Griffin Road, the platted connector road to SW 184th Avenue would no longer be needed (see ⑥ on the diagram), nor would a platted southbound right turn lane easement from SW 184th Avenue onto the connector road (see ⑤ on the diagram) and the future cul-de-sac at the north end of Akai Drive (see ② on the diagram).

Akai Drive is currently platted right-of-way south of the SW 184th Avenue connector street (see ⑦ on the diagram) and a series of ingress/egress easements north of the connector street (numbers ①, ③ and ④ on the diagram). The Broward County Land Development Code prohibits a private road connecting two rights-of-way, as the current dedications constitute. The county therefore required Akai to abandon the right-of-way portion of Akai Drive and create a private road easement in its place. Town staff required Akai to also abandon the three individual easements that comprise the northern section of Akai Drive and place all of Akai Drive under the same private road dedication instrument.

An equestrian trail alignment currently runs east from 49th Street to the canal after first jogging south on Akai Drive. Since future vehicular access to 184th Avenue would be permanently precluded by the road abandonment (segment "6" on the above map), staff is recommending that Akai dedicate a 15-foot trail easement that would run east-west through the abandoned "segment 6" street stub (to become an open space parcel



maintained by the HOA), and then north-south along the west side of the canal the full length of the development in order to comply with the Town's adopted Greenways Map.

The recommended trail easement implements the following Comprehensive Plan policies in the Recreation and Open Space Element:

Policy 1.3-b: Whenever possible, drainage canals and utility easements shall be incorporated into the Town's Multi-Use Greenway trails system [the recommended trail easement would connect areas to the south to both the C-11 Greenway and Frontier Trails Park].

Policy 1.3-d: Landscaped bikeways and Greenway trails should be designed to link

Policy 1.3-i: Development applications shall provide trail corridors and improvements consistent with the Greenway trail alignments and Town design standards.

Policy 1.5-c: The Town shall strive to link all recreational sites by equestrian trails, bikeways, vehicles, and pedestrian paths by 2030.

RECOMMENDATION

Sec. 145-030 governs vacation of rights-of-way and establishes the following considerations, which are also applied to road-related easement vacations:

- (1) The vacation will not adversely affect access to neighboring properties.
- (2) The subject right-of-way or easement is not needed for any public purpose, and the vacation request will not otherwise be in conflict with the public health, safety and welfare of town residents.

Vacating of rights-of-way is a legislative function reserved unto the Town Council. Staff finds that Application No. VC-31-22 satisfies the requisite criteria, subject to satisfaction of the following conditions:

1. Prior to second reading, Petitioner (including successors in title and used synonymously with the term "HOA") shall provide an executed ingress/egress, drainage and utilities easement in a form acceptable to the Town Attorney, providing for the Petitioner to be responsible for maintenance of the easement improvements and indemnifying the Town.
2. Prior to second reading, Petitioner shall provide an executed recreational trail easement along vacated 49th Street and along the west side of the canal, the full length of the development, connecting to Griffin Road. The easement shall be in a form acceptable to the Town Attorney, providing for the Petitioner to be responsible for maintenance, providing for permissible dusk-to-dawn gating and indemnifying the Town. Petitioner shall amend the HOA documents to reflect

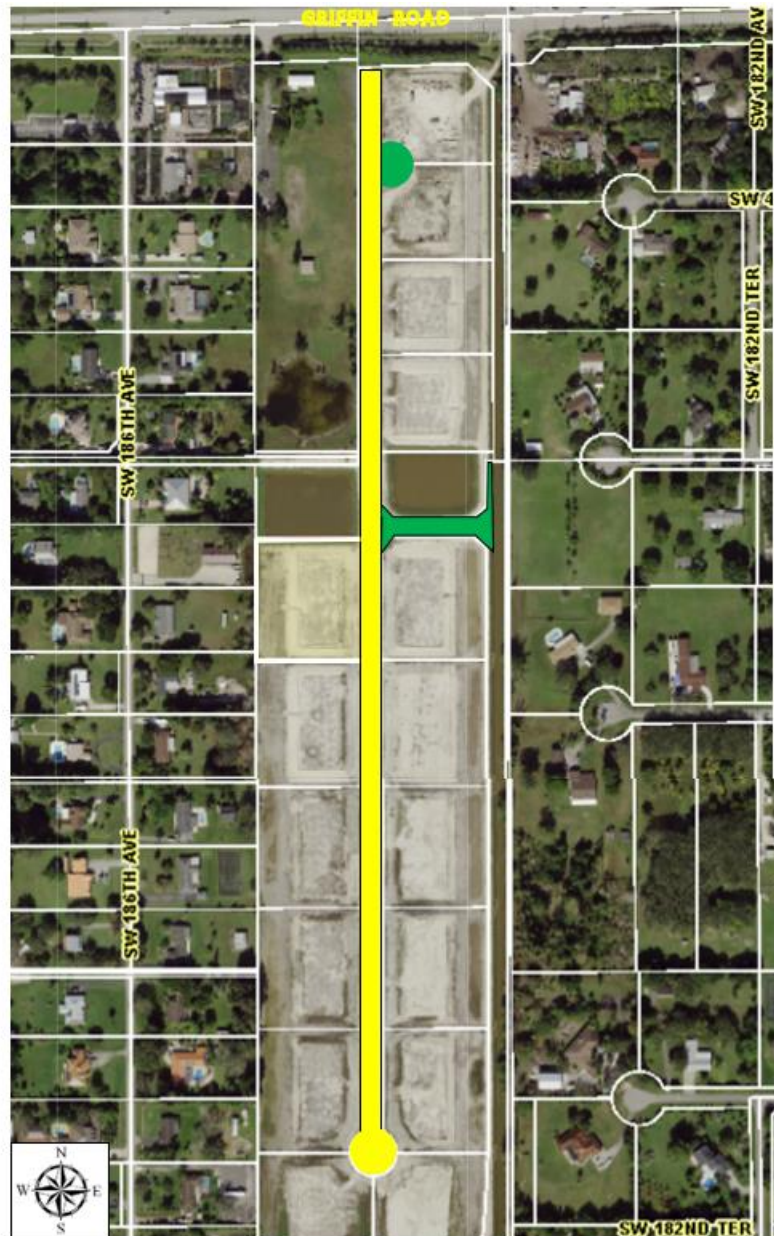
these requirements and such amendments shall be approved as to form by the Town Attorney prior to second reading.

3. No lot may be transferred in title unless Power of Attorney or other legal instrument acceptable to the Town Attorney shall have been granted to Petitioner for purposes of maintaining unity of control for all vacation, dedication, site plan amendment matters, including effectuation of all associated obligations.
4. The Ordinance shall not become effective until a Non Vehicular Access Line amendment is first recorded, authorizing the Akai Drive opening at Griffin Road.



This page
intentionally left blank

VACATION APPLICATION NO. VC-31-21

LOCATION MAP AND AERIAL



Legend

-  To be abandoned
-  To be abandoned and replaced with private road easement

This page
intentionally left blank

FOLIO_NUMB	NAME	ADDRESS_LI
503925020060	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503925020081	CULBERTSON,ROXANNEROXANNE CULBERTSON TR	4800 SW 186 AVE
503925020082	RITTER,GUY N & PATRICIA ARITTER LIV TR	4821 SW 186 AVE
503925020083	MCKINNEY,R R & VIRGINIA F	4810 SW 186 AVE
503925020084	SUAREZ,SERGIO RAFAEL & ANNETTE	4881 SW 186 AVE
503925020085	CHRIST COVENANT CHURCH INC	4700 SW 188 AVE
503925020086	CAYNE,GARY	6304 HIATUS RD
503925020087	TAYLOR,GEORGE E & JOYCE A	4880 SW 186 AVE
503925020088	QUINTERO,FELIX R H/EPEREZ,ADA A	4910 SW 186 AVE
503925020089	AMEZQUITA,HAYDEE	780 SW 167 AVE
503925020091	EMMAUS PROPERTY HOLDINGS LLC	4700 SW 186 AVE
503925020092	CHRIST COVENANT CHURCH INC	4700 SW 188 AVE

503925020097	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP
503925020100	REBOLLOSO,LOUIS A & PATRICIA V	4921 SW 186 AVE
503925020130	SOUTH FLORIDA WATER MANAGEMENTDISTRICT	PO BOX 24680
503925030010	FRANCIS,CHANDRAMA H/EFANCIS,RENICK	4701 SW 188 AVE
503925030020	EASTMAN,JOHN W	4801 SW 188 AVE
503925030030	KANTNER,TANYA L	4811 SW 188 AVE
503925030040	VILLA,JOSE V	4821 SW 188 AVE
503925030050	SANDEFUR,WILLIAM JR & MARSHA	4831 SW 188 AVE
503925030060	REYNOLDS,DAMON & ELISABETH	4841 SW 188 AVE
503925030070	STRINGER,DONALD &STRINGER,MELINDA	4851 SW 188 AVE
503925030080	CONNER,EUGENE K & ELIZABETH A	4901 SW 188 AVE
503925030090	AMODIE,WAYNE K JRAMODIE,SHERESE	4911 SW 188 AVE
503925030100	HINCAPIE,ALONSO & LUZ M	4921 SW 188 AVE
503925030110	FERNANDEZ,RAFAEL G	4931 SW 188 AVE
503925030120	GOLDFARB,J & JANET A	5001 SW 188 AVE
503925030130	MOLL,MATTHEW SAM & JENNY LAURA	4900 SW 188 AVE
503925030140	CRUZ,ZEENA MARIECRUZ,ROGER	4910 SW 188 AVE
503925030150	CHIRINO,SAMUEL	4920 SW 188 AVE
503925030160	RASKO,SUSAN E	4930 SW 188 AVE
503925030170	VILLA,ROMANA	5000 SW 188 AVE
503925030180	CHRIST COVENANT CHURCH INC	4700 SW 188 AVE
503925030190	COOPER,DARRYL & PAT	4800 SW 188 AVE
503925030200	COLON,SONNIA & ENRIQUE	4810 SW 188 AVE

503925030210	MAINS,JOEL &MAINS,DAWN	4820 SW 188 AVE
503925030220	VICTORIA PRODUCE LLC	21150 SW 167 AVE
503925030230	MORGAN,JUSTIN & LINDA LEE	4840 SW 188 AVE
503925030240	BIRD,STEPHEN A & ROSALINA M	4850 SW 188 AVE
503925030250	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503925050010	IGLESIA BAUTISTA WEST BROWARD INC	18500 GRIFFIN ROAD
503936010052	ZACCO,MARIO	13100 E PALOMINO DR
503936010053	MURPHY,CHRISTOPHER S H/EMECIAS-MURPHY,ANNIE	5620 SW 185 WAY
503936010056	PEDRO,ANTONIO C & JANETE G PEDRO FAMILY REV TR	5621 SW 185 WAY
503936010061	EPPS,CURTISS W & NANCY A EPPS FAM TR	18600 SW 55 ST
503936010062	EPPS FAM TREPPS,CURTISS W & NANCY A TRS	18600 SW 55 ST
503936010064	BINGER,ROBERT K & HAZEL P	5600 SW 185 WAY
503936010065	COHEN,IRAPERSONAL RESIDENCE TR	5521 SW 185 WAY
503936010072	MAURICIO,ALFONSO & PAULA	18501 SW 54 PL
503936010073	MAURICIO,JOSEPH P MAURICIO,LYNN M	18500 SW 54 PL
503936010090	CAIRO,EUGENIA GARCIA, GLADYS	5441 SW 186 AVE

503936010091	VARGO,ELAINE	5501 SW 186 AVE
503936010120	PRUNEDA,SILVIO & MARIVEL A	5351 SW 186 AVE
503936010121	RODRIGUEZ,ANTONIO & ANA	5331 SW 186 AVE
503936010122	CAMEJO-ESCRIVA,LILIANA	5381 SW 186 AVE
503936010123	KONG,SHEK K & EUNICE	5341 SW 186 AVE
503936010124	SHENCY,RENY	5320 SW 186 AVE
503936010130	SUMMERLIN,HOWARD J H/ESUMMERLIN,ANABEL	5311 SW 186 AVE
503936010131	ALONSO,MANUEL R	5305 SW 186 AVE
503936010132	GREAU, PATRICKPESTANA, MARITZA	5301 SW 186 AVE
503936010133	RAMIREZ,ADAM H/ERAMIREZ,NERINA	5211 SW 186 AVE
503936010134	GINORIS,ESTELA	5210 SW 186 AVE
503936010135	SPILLERS,WILLIAM F	5310 SW 186 AVE
503936010136	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936010140	VILLAMENDI INVESTMENTS LLC	5201 SW 186 AVE
503936010141	SEVERYN,KENNETH H/ESEVERYN,ALMA & WALTER	5131 SW 186 AVE
503936010142	RICARDO,OMAR	5111 SW 186 AVE

503936010143	POU,CONNIE & REMY	5101 SW 186 AVE
503936010144	STARK,PAMELA ANN	5200 SW 186 AVE
503936010150	MCATEER,DEREK	5041 SW 186 AVE
503936010151	DUCROS,JEAN CLAUDEDUCROS,OLGA	4981 SW 186 AVE
503936010152	LOPEZ,REINIERMENDOZA BARBERIS,DEBORA	4979 SW 186 AVE
503936010153	BURGE,LISA ANN	4961 SW 186 AVE
503936010154	TRUJILLO,ANDREAESPINOSA,FRANKLIN A	5000 SW 186 AVE
503936010170	HIDALGO,JORGE F	5250 SW 186 AVE
503936010171	SUMMERLIN,MARGARET JSUMMERLIN REV LIV TR	5180 SW 186 AVE
503936010172	LEE,GINA PLEE,KUNGSANG T	5130 SW 186 AVE
503936010173	VERCOE,RICHARD & CAROLE	5080 SW 186 AVE
503936010174	ARANGO,SEBASTIAN DARIO	5040 SW 186 AVE
503936010175	MCCURDY,JULI	5010 SW 186 AVE
503936010176	SAMSON LEGACY LLC	5000 SW 186 AVE
503936010177	CEPERO,ARIELRULLIER CEPERO,ERIKA	5280 SW 186 AVE
503936010178	PLESCIA,JOSEPH R	5340 SW 186 AVE
503936010179	BAXTER,JOHN	5350 SW 186 AVE
503936010180	CROTHERS,DONN W & MARGARET V	5330 SW 186 AVE
503936020010	CALLAHAN,JAMES PETERCALLAHAN,KARLEE MICHELLE	5341 SW 188 AVE
503936020020	DAMIANI,GUITANO T & BRENDA LEE	5311 SW 188 AVE
503936020030	CARBONE,DENISE H/ECORIAT,CYNTHIA ELINA	5281 SW 188 AVE
503936020040	ROGERS,P JR & PATRICIA	5251 SW 188 AVE
503936020050	ROMERO,LEONAL & DAIRELYS	5221 SW 188 AVE

503936020060	WEEKLEY,MARIE A H/EFINNEY,ROSEANNE D	5191 SW 188 AVE
503936020070	MASSA,JASONCAGAN,JENNIFER	5161 SW 188 AVE
503936020080	VALDES,MADELINE	5131 SW 188 AVE
503936020090	MARQUEZ,GILBERTROMERO,JENNIFER	5101 SW 188 AVE
503936020100	BORGO,MIGUEL A & COLLEN	5340 SW 188 AVE
503936020110	CARRENO,ARMANDO A & JENNIFER M	5310 SW 188 AVE
503936020120	LISTIG,WALTER & VANESSA	5280 SW 188 AVE
503936020130	LOSENBECK,MICHAEL R & LORI L	5250 SW 188 AVE
503936020140	CLARK,HARRY & LILLIAN M	5220 SW 188 AVE
503936020150	KORN,BARBARA L	5190 SW 188 AVE
503936020160	CHANDLER,CYNTHIA	5160 SW 188 AVE
503936020170	HARDEN,DANIEL J & JUDITH	5130 SW 188 AVE
503936020180	PITVILLE LLC	5890 PADDINGTON WAY
503936020190	AARON-TOUS,TARA ETOUS,JORGE A JR	5051 SW 188 AVE
503936020200	SEIBEL,BRIAN	5041 SW 188 AVE
503936020210	AVENDANO,DIANEYSIS H & LUIS E	5031 SW 188 AVE
503936020220	OTERO,LEONARDO	5021 SW 188 AVE
503936020230	THELUSMA,LUDZEN & SURPRISE C	5011 SW 188 AVE
503936020240	DE SOUSA,CYNTHIA & RAIMUNDO	5050 SW 188 AVE
503936020250	SCANDIZZO,J J & KAREN	5040 SW 188 AVE
503936020260	MURPHY,PATRICKMURPHY,MAUREEN E	933 JOHN HENRY LEWIS RD
503936020270	FIGUEROA,ANGEL C & ILEANA	5020 SW 188 AVE
503936020280	PROOF,CARROLL L	5010 SW 188 AVE
503936020290	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936030010	KOBIALKA,KERRIRODRIGUEZ,EDUARDO	18531 SW 55 ST
503936030020	PAUL,THOMAS E H/EPAUL,STEPHANIE	18521 SW 55 ST
503936030030	SNAPP,JASON	18511 SW 55 ST
503936030040	ZABALA,PEDRO	18500 SW 55 ST
503936030050	SNELL,ADELINA & FORREST MICHAEL	18510 SW 55 ST
503936030060	FATJO,MARBELYS L & ABRAHAM L	18520 SW 55 ST
503936030070	MATAMOROS,NOREN	18530 SW 55 ST
503936030080	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD

503936050200	FAINER,ERIC & LORRAINE	5491 SW 188 AVE
503936050210	RIBEL,THOMAS E & SANDRA C	5461 SW 188 AVE
503936050220	GARCIA,EVENECER H/EGARCIA,DAMARIS	5431 SW 188 AVE
503936050230	COTTER,PATRICK & ANNETTE L	5401 SW 188 AVE
503936050270	BRANDT,LAURAMAZZOTTI,FRANK	5550 SW 188 AVE
503936050280	HINDS,RAYMOND & JENISE	5520 SW 188 AVE
503936050290	DI MARTINO,JOSEPH A	5490 SW 188 AVE
503936050300	MOREIRAS,BIANCA H/EBARBARO & BIANCA MOREIRAS TR ETA	5460 SW 188 AVE
503936050310	WARREN,PAIGE	5430 SW 188 AVE
503936050320	LM PROPERTY HOLDINGS LLC	13202 NW 107 AVE UNIT 5
503936050330	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936100010	MARTIN,DAYANNA HMARTIN,NELSON F	18900 SW 49 ST
503936100011	GRIFFIN ROAD 345 PROPERTYOWNERS ASSOCIATION INC	PO BOX 820493
503936100070	GONZALEZ,JHON & JOHANAJHON,GONZALEZ & JOHANA TRSTEE	18901 SW 50 ST
503936100080	MESSNER,HOWARD G	5490 SW 42 ST
503936100150	ZIMMERMAN,ROBERT & BETH	18901 SW 51 MNR
503936100160	SCHWEIN,PAUL DAVID & ANA M G	18900 SW 51 MNR
503936100230	WEDEL,HORST E & YOLANDA	18901 SW 53 ST
503936100240	CONSUEGRA,AURELIO	
503936100310	TORRESSANCHEZ,JUDEX RAMIREZ	18900 SW 53 ST
503936100320	CYPRESS,CHARLEY W	18901 SW 54 PL
503936150010	BOWMAN,BRETBOWMAN,DEB	18900 SW 54 PL
503936150020	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150030	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150040	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150050	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150060	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150070	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150080	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150090	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150100	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150110	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150120	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150130	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150140	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150150	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1

503936150160	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150170	AKAI ESTATES LLC	333 LAS OLAS WAY #CU1
503936150180	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
503936160010	MAURICIO,ALFONSO & PAULA	18511 SW 54 PL
504029010620	SOUTH FLORIDA WATER MANAGEMENTDISTRICT	PO BOX 24680
504030000011	SOUTH FLORIDA WATER MANAGEMENTDISTRICT	PO BOX 24680
504030000020	RODRIGUEZ,NELSON J	15470 NW 82 CT
504030000021	N & D INVESTMENTS OF AMERICA INC	18400 GRIFFIN RD
504030000023	MVR INC	18400 GRIFFIN RD
504030000030	RODRIGUEZ,NELSON J	15470 NW 82 CT
504030000060	SANCHEZ,MIRIAMMIRIAM L SANCHEZ TR	18391 SW 50 ST
504030000061	TORRES HNYTKA,ERIKAHNYTKA,JOHN	18301 SW 50 ST

504030000062	KUMAR,RANA & AMEETA	18291 SW 50 ST
504030000063	LUONGO,MARIA CAROLINARAMIREZ,KEYDHEN	13605 WAYLON LN
504030000064	ABRAHAM,JOSEPH	4106 IMPERIAL EAGLE DR
504030000065	GALVEZ,SUSANA	18200 SW 48 ST
504030000068	NASSER,MOUSTAFA & MONA M	4890 SW 182 TER
504030000069	IVORY,JAMES ANTHONY	18300 SW 48 ST
504030000070	WRIGHT,MARTHA L	18340 SW 48 ST
504030000071	CYPEN,MYLES GRODRIGUEZ,RUBEN A	18201 SW 48 ST
504030000074	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504030000075	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504030030010	IGLESIA MISION VIDA INC	15970 W STATE ROAD 84 #430
504030030040	PUBLIC LAND % BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP

504031010050	BUCK,MELVIN	5303 SW 178 AVE
504031010061	AMADOR,JOSE LUIS & ALEXANDRA C	18050 SW 50 CT
504031010090	DANIELS,DANNY & LINDA	18251 SW 52 CT
504031010091	VASZILY,DIANE ADIANE A VASZILY TR	18241 SW 52 CT
504031010092	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010097	MARTINEZ CARRASQUEL,MARIA AGONZALEZ,ELEAZAR % ESQ TITLE	121 ALHAMBRA PLAZA STE 1500
504031010172	JIRON,YESENIAAVILA REYES,HECTOR NERY	5975 NW 110 ST
504031010173	FINCA DE RAZA OF FLORIDA INC	18050 SW 50 ST
504031010182	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010184	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD

504031010185	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010194	AMADOR,ALEXANDRA C & JOSE L	18050 SW 50 CT
504031010212	FILS-AIME,MARIE FLORE	18031 SW 52 CT
504031010222	STICKLER,SEAN D	18090 SW 52 CT
504031010250	STEINMETZ,GREGORY A & ANA M	5400 SW 182 TER
504031010251	HURTADO,EVA ANA	5351 SW 182 TER
504031010252	ALVAREZ,SANTIAGO F &ALVAREZ,KATHERINE L	4347 SW 195 TER
504031010270	MOMPOINT,NOE	18320 SW 52 CT
504031010280	ROGERS,STANLEY J JR & MICHELLE V	5221 SW 182 TER
504031010290	LEMIGOVA,YULIANAVRATILOVA,MARTINA	18130 SW 50 CT
504031010291	FERNANDEZ,CESAR A JR & CECILIA M	18100 SW 50 CT
504031010292	MACHADO,BEATRICE YROJAS,FEDERICO E	335 NE 101 ST
504031010293	TAVTIGIAN,MATTHEW A & ROWENA G	18310 SPRING ROAD

504031010294	RAWCLIFFE,CATHY	18132 SW 50 CT
504031010295	MACHADO,BEATRICE YROJAS,FEDERICO E	335 NE 101 ST
504031010310	OWENS,LARRY DALE & LISA BRADY	18101 SW 50 CT
504031010311	MACMILLAN,RUSSELL JAMESR J MACMILLAN REV LIV TR ETAL	18201 SW 50 CT
504031010312	PHILLIPS,PAUL B JR & PAMELA ANNP FAM REV TR	18301 SW 50 CT
504031010313	MULHEIM,CHERYL E & JOSEPH	18351 SW 50 CT
504031010320	BON HAES,ADRIENNE	18100 SW 50 ST
504031010321	MIRIAM L SANCHEZ TRSANCHEZ,MIRIAM L TRS	18390 SW 50 ST
504031010322	GUILLARMOD,CATHERINE GCATHERINE G GUILLARMOD REV TR	18300 SW 50 ST
504031010323	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010332	JACKSON,EDWARDJACKSON,KIMBERLY	19151 SW 54 PL
504031010460	MORRIS,JAMESJAMES BYRON MORRIS REV LIV TR	18100 SW 55 ST

504031010461 HERRING,SHARON LSHARON L HERRING TR 18301 SW 57 ST

504031010462 DUPOUX,JEAN R & NAZEERA 18361 SW 57 ST

504031010464 BUTLER,MICHAEL G &PALMER,P J PO BOX 521020

504031010465 ADKINS,SUSAN 18201 SW 57 ST

504031010470 ABLEMAN,JANINE & SAM C 18360 SW 55 ST

504031010480 RODRIGUEZ,ANTONIO & LOURDES 18101 SW 55 ST

504031010481	REINGOLD,LEON & MARINA	6520 PLATT AVE #209
504031010482	MARRERO,GUSTAVO JR & JEAN E	18201 SW 55 ST
504031010483	CHORATH,CYRIL PCHORATH,TESSY	15901 N SEDGEWYCK CIR
504031010484	CORBO,SARA	18331 SW 55 ST
504031010485	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031010680	BROWARD COUNTYBOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP
504031020010	LOVERA,LILIA A H/ELOVERA,CARLOS A MCKEON,BRETT LARCOMMCKEON,JENNIFER	18200 SW 52 CT
504031020020	DAVIES	543 HUNTING LOOSE DR
504031020030	CALDERON,RONNY & SUSANSUSAN & RONNY	18201 SW 52 LN
504031020040	E CALDERON LIV TR	18181 SW 52 LN
504031020050	BISOGNO,GARRETT & KIMBERLY SEARLE,JEFFREY D & ANDREA LJEFFREY D	18200 SW 52 LANE
504031020060	SEARLE REV TR	18190 SW 52 LN
	MUSSMAN,LOUIS	

504031020070	PUBLIC LAND% TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
504031040010	ALVAREZ,GABRIEL ANTONIO &ALVAREZ,CARMEN ELVIRA	9468 NW 54 DORAL CIR LN
504031110010	LAKHANI,SALIM & SEEMA S	18201 SW 52 CT
504031120010	WILLIAMS,RICHARD & MELANIERICHARD & M WILLIAMS REV LIV TR	18150 SW 50 ST

513901010633	TOWN OF SOUTHWEST RANCHES	13400 GRIFFIN RD
--------------	---------------------------	------------------

513901010660	TOWN OF SOUTHWEST RANCHES Patricia A. Bates, MMC, City Clerk City of Weston 17200 Royal Palm Boulevard Weston, FL 33326	13400 GRIFFIN RD
--------------	---	------------------

CITY	STATE	ZIP	ZIP4	LEGAL
SOUTHWEST RANCHE FL		33330	2628	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTR 52 LESS PT LYING N OF CANAL& LESS PT DESC'D AS COMMAT SE COR OF SEC,N 1156.60,WLYALG S/L OF C-11 CANAL FOR1992.08 TO POB,SLY 26.19,WLY179.42,NLY 17.00,ELY 179.78TO POB,TOGETHER WITH ALLTRACT 61
SOUTHWEST RANCHE FL		33332	1404	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 LYING WITHINE1/2 OF N1/2 OF N1/2 OF SW1/4OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332	1403	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 63 LYING WITHIN W1/2OF S1/2 OF N1/2 OF SW1/4 OFSE1/4 OF SE1/4 OF SEC 25
SOUTHWEST RANCHE FL		33332	1404	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 63 LYING WITHIN E1/2OF S1/2 OF N1/2 OF SW1/4OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332	1403	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 63 LYING WITHIN W1/2OF N1/2 OF S1/2 OF SW1/4 OFSE1/4 OF SE1/4 OF SEC
FORT LAUDERDALE FL		33332		EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPORTION TR 50 LYING WITHINW1/2 OF S1/2OF S1/2 OF NW1/4 OF SE1/4 OFSE1/4 OF SEC,LESS E 25 THEREOFFOR RD
TAMARAC FL		33321	6427	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 LYING WITHINW1/2 OF N1/2 OF N1/2 OF SW1/4OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332	1404	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 THAT LIESWITHIN E1/2 OF N1/2 OF S1/2 OFSW1/4 OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332		EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 THAT LIESWITHIN E1/2 OF S1/2 OF S1/2 OFSW1/4 OF SE1/4 OF SE1/4 OF SEC
PEMBROKE PINES FL		33027		EVERGLADES LAND CO SUB S1/225-50-39THAT PT OF TR 50 THAT LIESWITHIN E1/2 OF N2/3 OF S3/4 OFNW1/4 OF SE1/4 OF SE1/4 OF SEC
SOUTHWEST RANCHE FL		33332		EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 50 THAT LIESWITHIN W1/2 OF N2/3 OF S3/4 OFNW1/4 OF SE1/4 OF SE1/4 OF SEC
FORT LAUDERDALE FL		33332	1320	SECLESS POR DESC IN OR 37657/1 AKAPARCEL 120

				EVERGLADES LAND CO SUB S1/225-50-39 1-63 DPOR OF TR 50 DESC AS:COMM SE COROF SAID SEC 25;N 1156.60;W ALONGSOUTH R/W OF C-11 CANAL FOR996.17 TO POB S 77.15;W 331.91;N 60.16;E ALONG SOUTH R/W LINEOF C-11 CANAL FOR 332 TO POBAKA:PARCEL 120
FORT LAUDERDALE	FL	33301	1801	EVERGLADES LAND CO SUB S1/225-50-39 1-63 DTHAT PT OF TR 63 LYING WITHINW1/2 OF S1/2 OF S1/2 OF SW1/4 OFSE1/4 OF SE1/4 OF SEC,LESSTHEREFROM R/W FOR SW 186 AVE& R/W FOR SW 49 ST
				EVERGLADES LAND CO SUB S1/21-63 D 25-50-39 & 26-50-39ALL THE PROPERTY KNOWN AS SOUTHNEW RIVER CANAL LYING WITHINSAID SEC 25 & 26
WEST PALM BEACH	FL	33416	4680	ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 1
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 1
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 6 BLK 1
SOUTHWEST RANCHE	FL	33332	1321	ALAMO COUNTRY ESTATES 89-50 BLOT 7 BLK 1
SOUTHWEST RANCHE	FL	33332	1323	ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 2
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 2
SOUTHWEST RANCHE	FL	33332	1323	ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 2
SOUTHWEST RANCHE	FL	33332	1323	ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 2
SOUTHWEST RANCHE	FL	33332	1325	ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 2
SOUTHWEST RANCHE	FL	33332	1324	ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 3
SOUTHWEST RANCHE	FL	33332	1324	ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 3
SOUTHWEST RANCHE	FL	33332	1324	ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 3
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 3
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 3
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 1 BLK 4
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 2 BLK 4
SOUTHWEST RANCHE	FL	33332		ALAMO COUNTRY ESTATES 89-50 BLOT 3 BLK 4

SOUTHWEST RANCHE FL	33332	1322	ALAMO COUNTRY ESTATES 89-50 BLOT 4 BLK 4
MIAMI FL	33187		ALAMO COUNTRY ESTATES 89-50 BLOT 5 BLK 4
SOUTHWEST RANCHE FL	33332	1322	ALAMO COUNTRY ESTATES 89-50 BLOT 6 BLK 4
SOUTHWEST RANCHE FL	33332	1322	ALAMO COUNTRY ESTATES 89-50 BLOT 7 BLK 4
SOUTHWEST RANCHE FL	33330	2628	ALAMO COUNTRY ESTATES 89-50 BALL THOROUGHFARES RIGHT OF WAYSDEDICATED PER SAID PLAT
SOUTHWEST RANCHE FL	33332		NEW RIVER BAPTIST MISSION143-12 BTRACT "A"
SOUTHWEST RANCHE FL	33330	2200	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N1/2 OF E1/2,LESS THATPT LYING WITHIN 40 FT OF THE N/LOF SE1/4 OF SEC, LESS E 25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 48 S1/2 OF N1/2, LESS W 25 FTFOR ROAD R/W PER R/W MPA 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 47 S1/2 OF N1/2, LESS E25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332	1422	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N1/2 OF N1/2,LESS PT DESCN310 OF E350 LESS E25 FT FORROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332	1422	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 47 N1/2 OF N1/2, LESS E25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 48 N1/2 OF N1/2, LESS W25 FTFOR ROAD R/W PER R/W MAP 13-81
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N310 OF E350 OF S1/2LESS THE N25 FT FOR ROAD R/WLESS E25 FT FOR ROAD R/W PERR/W MAP 13-81
FORT LAUDERDALE FL	33332	1416	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 32 S 527.73 LESS W 350 OFS 263.86 LESS P/P/A GARDENCREATIONS PER PB 176/184 B
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D30- 50-39W 350 OF S 263.86 OF TRACT 32
SOUTHWEST RANCHE FL	33332	1415	EVERGLADES LAND CO SUB 1-63 D36- 50-39TR 34 N1/2 OF W1/2 OF N1/2LESS E25 FT FOR ROAD R/W PERR/W MAP 13- 81

SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 B36-50-39TR 34 S1/2 OF W1/2 OF N1/2, LESS E255 FT FOR ROAD R/W PERR/W MAP 13-81
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TRACT 31 S1/2 OF S1/2 OF W1/2 LESS PT DESC'D IN OR 25653/27 FOR R/WS
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 N1/2 OF S1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 S1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 N1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1414	EVERGLADES LAND CO SUB 1-63 D36-50-39THAT PORTION OF TR 31 THAT LIES WITHIN E1/2 OF N1/2 OF N1/2 OF SW1/4 OF SE1/4 OF NE1/4 OF SEC 36
SOUTHWEST RANCHE FL	33332	1413	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 S1/2 OF S1/2 OF W1/2 LESS THEREFROM E 25
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 N1/2 OF S1/2 OF W1/2 LESS E 25' THEREOF PER OR 40101/1976
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 S1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 N1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1412	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 N1/2 OF N1/2 OF E1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 S1/2 OF S1/2 OF E1/2
SOUTHWEST RANCHE FL	33330	2628	EVERGLADES LAND CO SUB 1-63 D36-50-39E 25 OF POR OF TRACT 18 DESC AS LYING WITHIN W1/2 OF N1/2 OF S1/2 OF NW1/4 OF SE1/4 OF NE1/4 OF SEC 36
SOUTHWEST RANCHE FL	33332	1411	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 S1/2 OF S1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1409	EVERGLADES LAND CO SUB 1-63 D36-50-39POR TR 15 LYING WITHIN W1/2 OF N1/2 OF S1/2 OF SW1/4 OF NE1/4 OF NE1/4 OF SAID SEC 36-50-39
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 S1/2 OF N1/2 OF W1/2

SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 N1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1412	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 S1/2 OF S1/2 OF E1/2
SOUTHWEST RANCHE FL	33332	1407	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 S1/2 OF S1/2 OF W1/2, LESSEE 25 FOR RD
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 N1/2 OF S1/2 OF W1/2, LESSEE 25 FOR RD
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 S1/2 OF N1/2 OF W1/2
SOUTHWEST RANCHE FL	33332	1405	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 N1/2 OF N1/2 OF W1/2, LESSEE 25 THEREOF FOR RD
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 N1/2 OF N1/2 OF E1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332	1410	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332	1410	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332	1408	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 15 E1/2 OF N1/2 OF N1/2
SOUTHWEST RANCHE FL	33332	1408	EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 E1/2 OF S1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 2 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 18 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 E1/2 OF N1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 E1/2 OF S1/2 OF S1/2
SOUTHWEST RANCHE FL	33332		EVERGLADES LAND CO SUB 1-63 D36-50-39TR 31 E1/2 OF S1/2 OF N1/2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 1 BLK 1
SOUTHWEST RANCHE FL	33332	1331	COUNTRY ESTATES 91-16 BLOT 2 BLK 1
SOUTHWEST RANCHE FL	33332	1329	COUNTRY ESTATES 91-16 BLOT 3 BLK 1
SOUTHWEST RANCHE FL	33332	1329	COUNTRY ESTATES 91-16 BLOT 4 BLK 1
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 5 BLK 1

SOUTHWEST RANCHE FL	33332	1327	COUNTRY ESTATES 91-16 BLOT 6 BLK 1
SOUTHWEST RANCHE FL	33332	1327	COUNTRY ESTATES 91-16 BLOT 7 BLK 1
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 8 BLK 1
SOUTHWEST RANCHE FL	33332	1327	COUNTRY ESTATES 91-16 BLOT 9 BLK 1
SOUTHWEST RANCHE FL	33332	1332	COUNTRY ESTATES 91-16 BLOT 1 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 2 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 3 BLK 2
SOUTHWEST RANCHE FL	33332	1330	COUNTRY ESTATES 91-16 BLOT 4 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 5 BLK 2
SOUTHWEST RANCHE FL	33332	1328	COUNTRY ESTATES 91-16 BLOT 6 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 7 BLK 2
SOUTHWEST RANCHE FL	33332	1328	COUNTRY ESTATES 91-16 BLOT 8 BLK 2
BOCA RATON FL	33496		COUNTRY ESTATES 91-16 BLOT 9 BLK 2
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 1 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 2 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 3 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 4 BLK 3
SOUTHWEST RANCHE FL	33332	1325	COUNTRY ESTATES 91-16 BLOT 5 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 1 BLK 4
SOUTHWEST RANCHE FL	33332	1326	COUNTRY ESTATES 91-16 BLOT 2 BLK 4
DUNLAP TN	37327	6536	COUNTRY ESTATES 91-16 BLOT 3 BLK 4
SOUTHWEST RANCHE FL	33332	1326	COUNTRY ESTATES 91-16 BLOT 4 BLK 4
SOUTHWEST RANCHE FL	33332		COUNTRY ESTATES 91-16 BLOT 5 BLK 4
SOUTHWEST RANCHE FL	33330	2628	COUNTRY ESTATES 91-16 BALL THOROUGHFARES RIGHT OF WAYSDEDICATED PER SAID PLAT
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 1
SOUTHWEST RANCHE FL	33332	1467	JONEL TERRACE 4 91-33 BLOT 2
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 3
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 4
SOUTHWEST RANCHE FL	33332	1468	JONEL TERRACE 4 91-33 BLOT 5
SOUTHWEST RANCHE FL	33332		JONEL TERRACE 4 91-33 BLOT 6
SOUTHWEST RANCHE FL	33332	1468	JONEL TERRACE 4 91-33 BLOT 7
SOUTHWEST RANCHE FL	33330	2628	JONEL TERRACE 4 91-33 BTHOROUGHFARES DEDICATED TOPUBLIC PER PLAT 91-33 B

SOUTHWEST RANCHE FL	33332	1352	COUNTRY ACRES 92-38 BLOT 6 BLK 3
SOUTHWEST RANCHE FL	33332	1352	COUNTRY ACRES 92-38 BLOT 7 BLK 3
SOUTHWEST RANCHE FL	33332		COUNTRY ACRES 92-38 BLOT 8 BLK 3
SOUTHWEST RANCHE FL	33332	1352	COUNTRY ACRES 92-38 BLOT 9 BLK 3
SOUTHWEST RANCHE FL	33332	1337	COUNTRY ACRES 92-38 BLOT 4 BLK 4
SOUTHWEST RANCHE FL	33332	1337	COUNTRY ACRES 92-38 BLOT 5 BLK 4
SOUTHWEST RANCHE FL	33332	1318	COUNTRY ACRES 92-38 BLOT 6 BLK 4
SOUTHWEST RANCHE FL	33332	1318	COUNTRY ACRES 92-38 BLOT 7 BLK 4
SOUTHWEST RANCHE FL	33332		COUNTRY ACRES 92-38 BLOT 8 BLK 4
HIALEAH GARDENS FL	33018		COUNTRY ACRES 92-38 BLOT 9 BLK 4
SOUTHWEST RANCHE FL	33330	2628	COUNTRY ACRES 92-38 BTHOROUGHFARE RIGHT OF WAYSDEDICATED PER SAID PLAT
SOUTHWEST RANCHE FL	33332	1334	GRIFFIN 345 PLAT 129-22 BLOT 1 E1/2 GRIFFIN 345 PLAT 129-22 BINTEREST IN LOT 3,8,9,11,12,22,23,25,27,28,41,44,45,46,50, 55,63,64,67,75,76 TO ALL STS,AVESDRIVES,PARKS,BLVDS,WAYS, WALKSWATERWAYS & CANALS
PEMBROKE PINES FL	33082	0493	
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 7 GRIFFIN 345 PLAT 129-22 BLOT 8,LESS N 25
DAVIE FL	33314		
SOUTHWEST RANCHE FL	33332	1367	GRIFFIN 345 PLAT 129-22 BLOT 15
SOUTHWEST RANCHE FL	33332	1311	GRIFFIN 345 PLAT 129-22 BLOT 16 GRIFFIN 345 PLAT 129-22 BLOT 23,LESS S 25
SOUTHWEST RANCHE FL	33332	1368	
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 24
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 31
SOUTHWEST RANCHE FL	33332		GRIFFIN 345 PLAT 129-22 BLOT 32
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 1
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 2
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 3
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 4
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 5
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 6
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 7
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 8
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 9
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 10
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 11
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 12
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 13
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 14
FORT LAUDERDALE FL	33301		TARA162-20 BLOT 15

FORT LAUDERDALE	FL	33301		TARA162-20 BLOT 16
FORT LAUDERDALE	FL	33301		TARA162-20 BPARCEL A
SOUTHWEST RANCHE	FL	33330	2628	TARA 162-20 BTHE THOROUGHFARES ARE DEDICATEDTO THE PUBLIC PER PLAT
SOUTHWEST RANCHE	FL	33332		GARDEN CREATIONS 176-184 BPARCEL A
WEST PALM BEACH	FL	33416	4680	FLA FRUIT LANDS CO SUB NO 12-17 D 29-50-40 & 30-50-40ALL THE PROPERTY KNOWN AS SOUTHNEW RIVER CANAL LYING WITHINSAID SEC 29 & 30 AND W OF R/WFOR I-75 LYING IN THE TOWN OFSOUTHWEST RANCHES
WEST PALM BEACH	FL	33416	4680	30-50-40COMM SW COR OF SEC 30,N 1436.90TO THE INTERSECTION WITH THEN/R/W/LINE OF SO FLA W/M/D CANAL# 11 & POB,ELY 1707.01,NLY 10,WLY 1706.71 TO W/L OF SEC 30,SLY 10 TO POB
MIAMI LAKES	FL	33016		30-50-40COMM SW COR SEC 30,NLY 1157.05M/L TO S R/W/L OF S NEW RIVERCANAL,ELY 638.50 TO POB,CONTELY 234.49,SLY 507.96,WLY 234.45,NLY 501.21 TO POB,LESS RD R/W & LESS PT INC'DIN PARCEL 116 OF CA 93-31722FOR GRIFFIN RD R/W
FORT LAUDERDALE	FL	33332		30-50-40COMM SW COR OF SEC 30,NLY 674 TOPOB,CONT NLY 483.05,ELY 441.76,SLY 495.61,WLY 441.50 TO POB ASIN OR 4462/897,LESS R/W PAR 118PER CA-93-12154 (OR 21580/73)
FORT LAUDERDALE	FL	33332		30-50-40COMM AT SW COR OF SAID SEC,NLY1157.05,ELY 441.76 TO POB,CONTELY 196.74,SLY 501.21,WLY196.65,NLY 495.61 TO POB LESSR/W & LESS NLY 60 FOR RD
MIAMI LAKES	FL	33016		30-50-40BEG SW COR SEC 30,N 1157.05 TOS R/W/L S NEW RIVER CANAL,ELY 872.99 TO POB,ELY 184.36,SLY 513.23,WLY 184.25,NLY 507.96TO POB LESS R/W & LESS PT INC'DIN PARCEL 116 OF CA 93-31722FOR GRIFFIN RD R/W
SOUTHWEST RANCHE	FL	33331		30-50-40BEG SW COR OF SEC 30,NLYALG W/L FOR 337,ELY 317,SELY 337 TO PT ON S/L OFSEC 30,WLY ALG S/L FOR317.15 TO SW COR OF SEC 30& THE POB,LESS R/W
SOUTHWEST RANCHE	FL	33331		30-50-40BEG SW COR SEC 30,ELY 317.15TO POB,CONT ELY 317.14,NLY 337,WLY 317,SLY 337 TO POB LESS R/W

SOUTHWEST RANCHE FL	33331	1013	30-50-40BEG SW COR SEC 30,ELY 634.29 TOPOB,CONT ELY 317.15,NLY 337,WLY 317,SLY 337 TO POB LESS R/W
MANASSAS VA	20112		30-50-40BEG SW COR SEC 30,ELY 951.44 TOPOB,CONT ELY 317.14,NLY 337,WLY 317,SLY 337 TO POB LESS R/W
VALRICO FL	33594		30-50-40BEG SW COR SEC 30,ELY ALGS/L 1268.58 TO POB,CONT ELY 287,NLY 757.51,WLY 287.16,SLY 748.31 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331	1002	30-50-40BEG SW COR SEC 30,ELY ALGS/L 1268.58,NLY 337 TO POB,CONT NLY 337,WLY 316.86,SLY 337,ELY 317 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331	1040	30-50-40PT OF SEC 30 DESC AS BEG SW CORSEC 30,ELY 951.44,NLY 337 TOPOB,CONT NLY 337,WLY 316.86,SLY 337,ELY 317 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331		30-50-40PT OF SEC 30 DESC AS BEG SW CORSEC 30,ELY 634.29,NLY 337 TOPOB,CONT NLY 337,WLY 316.86,SLY 337,ELY 317 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331	1004	30-50-40BEG 337 NLY OF SW COR SEC 30,CONT NLY ALG W/L 337,ELY 316.86,SLY 337,WLY 317 TO POB LESS R/WAKA:LOT EROLLING OAKS ACRES UNREC
SOUTHWEST RANCHE FL	33331	1001	30-50-40PT OF SEC 30 DESC AS BEG SW CORSEC 30,ELY 1268.58,NLY 674 TOPOB,CONT NLY 519.12,WLY 209.54,SLY 513.23,ELY 210.59 TO POB,LESS N 90.04 FOR R/W PAR 115 PERCA-93-12154 (OR 21580/73)
SOUTHWEST RANCHE FL	33330	2628	30-50-40S 25 OF SW1/4 OF SAID SEC THATIS 255 E OF W/L TOGETHER WITHALL LANDS LYING WITHIN 70 OFSAID PT PER R/W MAP 13/81
SOUTHWEST RANCHE FL	33330	2628	30-50-40ALL LAND WITHIN 25 OF FOLL DESCC/L,BEG SW COR SEC 30,NLY 674,E316.86 TO POB,ELY 788.72 TO PTOF TERMINATION,TOG WITH ALL LANDWITHIN 70 OF BOTH POB & PT OFTERM TOG WITH ALL LAND WITHIN 25OF FOLL DESC C/L,BEG S/W COR OFSEC,ELY 634.29 TO POB,NLY 674 TOPT OF TERMINATION AS PER R/W MAP
SOUTHWEST RANCHE FL	33326		ST PAUL LUTHERAN CHURCH 148-18 BPARCELS 1 & 2
FORT LAUDERDALE FL	33301	1801	ST PAUL LUTHERAN CHURCH 148-18 BDEDICATED THOROUGHFARES RIGHT OFWAYS PER SAID PLAT

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 24 W1/2 LESS E 28.99THEREOF EXCEPT PT LYING WITHIN15 OF S/L OF NW1/4 OF SEC 31TOGETHER WITH PT LYING E OF W/LOF E1/2 OF TR 24 EXT'D SLY &LYING WITHIN 15 OF S/L OF NW1/4LESS PT THEREOF LYING WITHIN 40OF E/L OF NW1/4 OF SEC 31
SOUTHWEST RANCHE FL	33331	2369	
SOUTHWEST RANCHE FL	33331	1022	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 20 W1/2 OF W1/2
SOUTHWEST RANCHE FL	33331	2209	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 28 W 330 LESS R/W FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 28 LESS E1/2 & LESS W 330& LESS RD R/W
SOUTHWEST RANCHE FL	33331	2209	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 28 E1/2 LESS THAT PORDESC IN OR'S 25068/393 &30539/1330;LESS S 25 FOR R/WAKA:E 35 TRACT 28
SOUTHWEST RANCHE FL	33330		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40A POR OF TR 28 DESC AS:COMM ATNE COR SAID TR 28;W 35 TO POB,W 304.12,S 305.06,E 304.77,N 305.06 TO POB
CORAL GABLES	FL	33134	
HIALEAH	FL	33012	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 18 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1010	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 17 W1/2 OF W1/2,LESS R/W
SOUTHWEST RANCHE FL	33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP OF LAND THAT LIES 25ON EACH SIDE OF FOLLOWING DESCC/L,BEG AT PT ON S/L OF TR 18THAT IS 50 W OF E/L,WLY ALG S/LOF SAID TR TO PT ON S/L 255 E OFW/L OF TR 31 TOGETHER WITH ALLLAND IN TR 30 & 31 THAT LIESWITHIN 70 OF SAID DESC PT THAT
SOUTHWEST RANCHE FL	33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP OF LAND LYING 25 ONEACH SIDE OF FOLLOWING DESC C/L,BEG AT A PT ON S/L TR 21 THAT IS50 W OF E/L OF SAID TR,WLY ALGS/L OF TRS 21 & 28 TO SW COR OFE1/2 OF W1/2 OF TR 28,TOGETHERWITH ALL LAND IN TRS 27 & 28THAT LIES WITHIN 70 OF SAID

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP 25 ON EA SIDE OF FOLLDESC C/L,BEG NW COR OF E1/2 TR27,S ALG W/L OF E/L TR 27,26 &25 TO PT 120 N OF SW COR OF E/LTR 25,TOG WITH ALL LAND IN TR 25WITHIN 70 OF SAID PT ON W/L OF E1/2 TR 25) 120N OF SW COR OF E1/2 TR 25)LESS P/P/A 81-
SOUTHWEST RANCHE FL	33330	2628	12 B FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 19 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1022	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 21 W3/5 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 22 W1/2 OF W1/2 LESS R/W,TR 23 W1/2 OF W1/2
SOUTHWEST RANCHE FL	33331	2243	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 25 W1/2 LESS R/W & LESSW 2 ACRES OF W1/2
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40W 2 ACRES OF W1/2 OF TRACT 25DESC AS:BEG NW COR TR 25,E ALGN/L TR 25 FOR 263.58,S 330.38,W264.24,N 330.08 TO POB
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 26 W1/2 LESS R/W &LESS P/P/A "CAPUZZI PLAT"
MIRAMAR FL	33029		
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 27 W1/2 OF W1/2 LESS R/WSFOR SW 52 CT & FOR SW 184 AVE
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 27 E1/2 OF W1/2 LESSR/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 29 E1/2 OF E1/2,LESSOR 6409/655,TR 30 E1/2 OF E1/2LESS R/W LESS W 15 THEREOF
SOUTHWEST RANCHE FL	33331	1024	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 29 W1/2 OF E1/2,30 W1/2 OF E1/2 LESS R/W
MIAMI SHORES FL	33138		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF W1/2 OF E1/2 OF W1/2 OFTRACTS 29 & 30 DESC'D AS: COMMAT NW COR OF NW1/4 OF NW1/4 OFSEC 31, S 660.12, E 320.21, S 25TO POB, E 160.13, S 635.11, W160.81, N 635.12 TO POB
SOUTHWEST RANCHE FL	33331	1028	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 29 W1/2 OF W1/2,30 W1/2 OF W1/2 LESS R/W

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-41S2/5 OF THE FOLLOWING DESCPROPERTY,E1/2 OF E1/2 OF TR 29TOGETHER WITH E1/2 OF E1/2 TR 30ALSO W 15 OF E1/2 OF E1/2 TRS 29& 30
SOUTHWEST RANCHE FL	33331	1024	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF E1/2 OF E1/2 OF W1/2 OFTRACTS 29 & 30 DESC'D AS: COMMAT NW COR OF NW1/4 OF NW1/4 OFSEC 31, S 660.12, E 320.21, S25, E 160.13 TO POB, E 160.13,S 635.11, W 160.81, N 635.11 TOPOB
MIAMI SHORES FL	33138		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 E1/2 OF E1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1023	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 W1/2 OF E1/2 LESS R/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 E1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1027	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 31 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1027	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 32 E 347.35 LESS R/W
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 32 W1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1015	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TRACT 32 E1/2 OF W1/2 LESS R/W
SOUTHWEST RANCHE FL	33331	1016	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40N 25 OF NW1/4 OF SAID SEC THATIS 255 E OF W/L TOGETHER WITHALL LANDS LYING WITHIN 70 OFSaid PT,LESS PT INC'D INOR 16268/987,LESS P/P/A WILLIAMSPLAT 173-145 B;AS PER R/W MAP13/81
SOUTHWEST RANCHE FL	33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF TRS 33 & 34 DESC AS FOL,COMM AT NW COR TR 33,S ALGW/L OF TRS 33 & 34 FOR 365.76,ELY 300.99,NLY 357.73,WLY300.92 TO POB
SOUTHWEST RANCHE FL	33332		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40N1/2 OF FOLLOWING DESC PROPERTY,PT OF TRS 45,46 & 47 DESC AS BEG36 S OF NE COR TR 45,WLY 325.58,NLY TO A PT 325.58 WLY OF E/L OFTR 47,ELY 325.58,SLY ALG E/L OFTRS 45,46,47,660.12 TO POB AS INOR 3739/553 LESS R/W
SOUTHWEST RANCHE FL	33331	2218	

			FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TR 45,46 DESC AS COMM 36 S OFNE COR,W TO 72 S OF NW COR OFTR 45 FOR 651.16 TO POB,CONT W325.79,S 330.03,E 325.79,N330.04 TO POB LESS S 25 & W325.57 OF E 976.72 OF FOL,BEG 36S NE COR,S 330.06 36 S SE COR,W1304.03,N 330.03 TO 72 S OF NW C
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TRS 45 & 46 DESC AS BEG 36 SOF NE COR TR 46,SLY ALG E/LTRS 45 & 46 330.06 TO A PT 36 SOF SE COR TR 46,WLY 1306.86 TOPT 72 S OF SW COR TR 46,NLY ALGW/L TRS 45 & 46 330.03 TO PT 72S OF NW COR TR 46,ELY 1304.03 TOPOB LESS E 976.72 AS IN
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40W 325.57 OF E 651.15 OF THAT PTOF TR 46 & 47 DESC AS FOL,BEG 36S OF NE COR TR 47,S 330.06,W 1304.03 TO A PT ON W/L OFTR 46 THAT IS 72 S OF SW COR OFTR 47,NLY 330.03,ELY 1301.34 TOE/L OF TR 47 & POB LESS R/W
MIAMI	FL	33152	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40W 325.58 OF E 651.16 OF PT OFTRS 45 & 46 INC IN FOL DESC,BEGON E/L TR 45 AT PT 36 S OF NECOR,W 1306.86 TO PT ON W/L 72 SOF NW COR TR 45,NLY 330.03 TO PT72 S OF NW COR TR 46,E 1304.03,S 330.06 TO POB,LESS R/W
SOUTHWEST RANCHE FL	33331	2231	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TRS 46 & 47 DESC AS BEG 36 SOF NE COR TR 47,SLY ALG E/LTRS 46 & 47 330.06 TO PT 36 SOF SE COR TR 47,WLY 1304.03 TOPT 72 S OF SW COR TR 47,NLY ALGW/L TRS 46 & 47 330.03 TO PT 72S OF NW COR TR 47,ELY 1301.34TO POB LESS E 976.72 AS IN
SOUTHWEST RANCHE FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40THE E 234.97 OF THE FOL,ALL OFTR 48 & PT OF TR 47 DESC AS BEGNE COR OF TR 48,SLY 366.06,WLY1301.34 TO A PT ON W/L OF TR 47402.03 S OF NW COR OF TR 48,NLY402.03 TO NW COR OF TR 48,ELY1297.72 TO POB LESS R/W
SOUTHWEST RANCHE FL	33331		

WEST HILLS	CA	91307		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40TR 48 & PT 47 DESC AS BEG NE COROF TR 48,SLY 366.06,WLY 1301.34TO PT ON W/L TR 47,NLY 402.03TO NW COR 48,ELY 1297.72 ALGN/L TO POB,LESS THEREFROME 1027.01 THEREOF LESS R/W
SOUTHWEST RANCHE FL		33331	2219	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40THE W 266.43 OF THE E 749.61 OFALL OF TR 48 & THAT PT OF 47DESC AS BEG NE COR TR 48,SLY ALGE/L OF TR 47 & 48 366.06,WLY1301.34 TO PT ON W/L TR 47,NLY402.03,ELY ALG N/L TR 48 1297.72TO POB LESS R/W
DAVIE	FL	33331		FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT OF TRACTS 47 & 48 DESC AS,THE W 248.23 OF E 483.18 OF THEFOL DESC PAR,BEG NE COR OF TRACT48,SLY ALG E/L OF TRACTS 47 & 48FOR 366.06,WLY 1301.34 TO A PT ON W/L OF TR 47 AT A PT 402.03S OF NW COR OF TRACT 48,NLY402.03 TO NW COR OF TR 48,ELY
SOUTHWEST RANCHE FL		33331	2221	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40PT TRS 47 & 48 DESC AS W 277.40OF E 1027.01 OF THE FOLLOWINGDESC PARCEL,BEG NE COR OF TR 48,SLY ALG E/L OF SAID TRS 47 & 48366.06,WLY 1301.54 TO PT ON W/LTR 47 THAT IS 402.03 S OF NW COROF TR 48,NLY 402.03 TO NW COR OFTR 48,ELY 1297.72 TO POB
SOUTHWEST RANCHE FL		33330	2628	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-4050 STRIP OF LAND LYING 25 ONEACH SIDE OF FOLLOWING DESC C/L,BEG SE COR OF TR 33,WLY ON ALINE THAT FORMS AN ANGLE OF90-46- 47 IN NW QUADRANT WITH N/SCENTERLINE OF SEC 31,TO PT THATIS 255 E OF W/L OF SAID SEC,LESSE 50,TOGETHER WITH ALL LAND
FORT LAUDERDALE FL SOUTHWEST RANCHE FL		33301 33331	1801	FLA FRUIT LANDS CO SUB NO 12-17 D 31-50-40POR OF W1/2 OF W1/2 TR 27,SEC 31LYING WITHIN 60 FEET EAST ANDPARA WITH W/L OF NW1/4 SEC 31 ALMAS ACRES 81-12 BLOT 1
MIAMI SPRINGS	FL	33166		ALMAS ACRES 81-12 BLOT 2
SOUTHWEST RANCHE FL		33331		ALMAS ACRES 81-12 BLOT 3
SOUTHWEST RANCHE FL		33331		ALMAS ACRES 81-12 BLOT 4
SOUTHWEST RANCHE FL		33331		ALMAS ACRES 81-12 BLOT 5
SOUTHWEST RANCHE FL		33331		ALMAS ACRES 81-12 BLOT 6

SOUTHWEST RANCHE FL	33330	2628	ALMAS ACRES 81-12 BTHOROUGHFARES DEDICATED TOPUBLIC PER PLAT 81-12 B
DORAL FL	33178		CAPUZZI PLAT 145-42 BTRACT A LAKHANI PLAT 173-30 BTRACT A LESS E 17.5 PEROR 37981/1902 & OR 38053/1339
SOUTHWEST RANCHE FL	33331		
SOUTHWEST RANCHE FL	33331		WILLIAMS PLAT 173-145 BPARCEL A
			EVERGLADES LAND CO SUB 1-63 D36- 01-39 PORTIONS OF TRACTS 33,34,48,49,63 AND 64 TOGETHER WITHPORTIONS OF TRACTS 1,2,16,17,31-34, 48, 49 AND 63 OFEVERGLADES LAND CO SUB 2-1 D1- 51-39 PER OR 6313/267, LESSPOR TR 63 OF SEC 1 LYING WITHIN100 FT NORTH AND PARALLEL WITHS/L OF SEC 1
SOUTHWEST RANCHE FL	33330	2628	
			EVERGLADES LAND CO SUB 1-63 D36- 50-39 & 01-51-39THE EAST 25 FT OF TRACTS 63, 50LESS N1/2 OF S1/2, TRS 47, 34,31 LESS N1/2;TOG WITH W 25 FT OFTRS 49,48 AND 33 LESS LESS P/P/A138-1 B,TR 32 LESS S1/2 OF N1/2,TR 17 LESS S1/2 OF S1/2,TRS 16 &1 OF SEC 01-51-39 TOG WITH TR 64& 48 W 25 FT,TRS 63,50,47 E 25
SOUTHWEST RANCHE FL	33330	2628	

This page
intentionally left blank



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Steve Breitkreuz, Mayor
Gary Jablonski, Vice Mayor
Jim Allbritton, Council Member
Bob Hartmann, Council Member
David Kuczenski, Council Member

Andrew D. Berns, MPA, Town Administrator
Keith M. Poliakoff, JD, Town Attorney
Russell Muniz, MPA, Assistant Town Administrator/Town Clerk
Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

COUNCIL MEMORANDUM

TO: Honorable Mayor Breitkreuz and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: Emily Aceti, Community Services Manager
DATE: 2/24/2022
SUBJECT: Shi Water Agreement

Recommendation

To place this item on the agenda for Council consideration and approval.

Unanimous Vote of the Town Council Required?

No

Strategic Priorities

A. Sound Governance

Background

Andy Shi ("Owner") is the owner of a property lying within the Town of Southwest Ranches at 5101 South Flamingo Road. The Owner is desirous of obtaining water services for the property; however, water services are not available from the Town of Southwest Ranches. The City of Cooper City, a neighboring municipality, has water services and is willing to provide said services to the Owner.

The proposed Resolution states no objection to the City of Cooper City providing water services to the Owner, or to any other property owner within the Town of Southwest Ranches whose property is within the vicinity of the proposed utility services and is desirous of obtaining water services from the City of Cooper City.

As a condition, and in consideration, of this Resolution being adopted, the Owner and others seeking water services from the City of Cooper City agree that he/she/it/they shall solely be responsible for all costs of connecting to the water facilities from the City of Cooper City,

including all ongoing costs of water and maintenance of the utility connections.

Fiscal Impact/Analysis

None

Staff Contact:

Rod Ley, P.E.
Public Works Director

ATTACHMENTS:

Description	Upload Date	Type
Resolution - TA Approved	2/2/2022	Resolution
Agreement	2/2/2022	Agreement

RESOLUTION NO. 2022 -

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, CONSENTING TO THE CITY OF COOPER CITY PROVIDING WATER SERVICES TO 5101 SOUTH FLAMINGO ROAD, REAL PROPERTY LYING WITHIN THE TOWN OF SOUTHWEST RANCHES, FLORIDA; PROVIDING THAT NO FURTHER EXPANSION OF SERVICE SHALL BE PERMITTED WITHOUT THE EXPLICIT WRITTEN CONSENT OF THE TOWN; PROVIDING FOR A CERTIFIED COPY OF THIS RESOLUTION TO BE FURNISHED TO THE CITY OF COOPER CITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Andy Shi ("Owner"), has real property in the Town of Southwest Ranches, as described in Exhibit "A", attached hereto and incorporated herein by reference; and

WHEREAS, Owner is desirous of obtaining water services for the property, however, water services are not available from the Town of Southwest Ranches; and

WHEREAS, the City of Cooper City, a neighboring municipality, has capacity to provide this home with water services, and is willing to provide such services to the Owner; and

WHEREAS, the Owner is desirous of obtaining water services from the City of Cooper City, and has requested the Town's consent for the connection; and

WHEREAS, the Town of Southwest Ranches consents to the connection provided that no further expansion of service occurs without the specific written consent of the Town; and

WHEREAS, Owner agrees that he shall solely be responsible for all costs of connecting to the water facilities from the City of Cooper City, including all ongoing costs of water and maintenance of the utility connections.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, AS FOLLOWS:

Section 1: Recitals. The above recitals are true and correct and are incorporated herein by this reference.

Section 2: The Town of Southwest Ranches, Florida hereby consents to the City of Cooper City providing water services to 5101 South Flamingo Road, provided that no further expansion of service shall be permitted without the explicit written consent of the Town.

Section 3. A certified copy of this Resolution shall be provided to the City of Cooper City.

Section 4. Effective Date. This Resolution shall become effective immediately upon its adoption.

[Signatures on Following Page]

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this _____ day of _____ 2022 on a motion by

_____ and seconded by _____.

Breitkreuz _____
Jablonski _____
Allbritton _____
Hartmann _____
Kuczenski _____

Ayes _____
Nays _____
Absent _____
Abstaining _____

Steve Breitkreuz, Mayor

Attest:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, Town Attorney
1001.927.01

This page
intentionally left blank

WATER AGREEMENT

FOR SINGLE-FAMILY HOMEOWNER

FOR: Andy Shi
(NAME OF OWNER)

LOCATION: 5101 S Flamingo Rd.
Southwest Ranch. FL 33330

THIS AGREEMENT effective this ____ day of _____, 20____, made and entered into by and between:

THE CITY OF COOPER CITY, a municipal corporation of the State of Florida, hereinafter referred to as the "CITY," the Town of _____, a municipal corporation of the State of Florida, hereinafter referred to as the "TOWN," and _____, an individual with a property address of _____, hereinafter referred to as the "OWNER." CITY, TOWN, and OWNER may hereinafter be collectively referred to as the "Parties."

WITNESSETH:

WHEREAS, CITY is the owner and operator of a water treatment plant, together with water distribution facilities known as COOPER CITY WATER SYSTEM; and

WHEREAS, OWNER controls certain real property in Broward County, Florida, as shown and described in Exhibit "A" attached hereto and made a part of hereof; and all references made in this Agreement to PROPERTY shall refer specifically to OWNER'S PROPERTY described in Exhibit "A" attached; and

WHEREAS, the PROPERTY is located in the TOWN; and

WHEREAS, OWNER desires to procure water service from CITY for the PROPERTY; and

WHEREAS, Section 19-142 of the CITY's Code of Ordinances authorizes the CITY to provide water service outside of the CITY's municipal boundaries, subject to Ch. 180, F.S., and the terms and conditions set forth in the CITY Code; and

WHEREAS, Section 180.19, F.S., authorizes a municipality to provide water service outside of its corporate limits and in another municipality, subject to the terms and conditions as may be agreed upon between such municipalities and the owner of the property receiving such service; and

WHEREAS, the Parties desire to enter into an agreement setting forth the mutual understandings and undertaking regarding the furnishing of said water services for the PROPERTY; and

WHEREAS, the Cooper City City Commission has approved this Agreement and has authorized the proper CITY officials to execute this Agreement by motion passed at a regular City Commission meeting on _____, 20____; and

WHEREAS, the Town Council has approved this Agreement and has authorized the proper Town officials to execute this Agreement by motion passed at a regular Council meeting on _____, 20____.

NOW, THEREFORE, in consideration of the mutual covenants and undertakings of CITY and OWNER and other good and valuable considerations, these parties covenant and agree with each other as follows:

PART I - DEFINITIONS

- A. The term OWNER shall refer to the Contracting Party in this Agreement who has an ownership interest in the PROPERTY.
- B. The term EQUIVALENT RESIDENTIAL CONNECTION, referred to in this Agreement as ERC, is the assumed average daily flow of a detached single-family residential unit.
- C. The term PROPERTY refers to the real property described in Exhibit "A" attached to and incorporated into this Agreement.
- D. The term CITY COMMISSION shall refer to the City of Cooper City City Commission.

PART II - OWNER'S OBLIGATIONS

A. CONTRIBUTION PAYMENTS FROM OWNER

The contribution charges (both water and sewer) shall be calculated according to rates set by Resolution of the City Commission. In addition to all rates, fees and charges otherwise imposed on consumers within the City, in accordance with Section 180.191, F.S., and Section 19-142 of the City Code, the OWNER shall pay to the CITY a surcharge equal to twenty-five percent (25%) of all charges for services provided under this Agreement. This surcharge payment shall be due and payable along with payment for all services provided by this Agreement.

Payment of the contribution charges is a condition precedent to the execution of this Agreement. The contribution charges applicable for this Agreement are summarized as follows:

CONTRIBUTION (WATER)

Residential# ____ Units X 1 ERC's Per Unit @ \$ ____ Per ERC
Total ERC's ____ (WATER)

OWNER has paid to CITY the sum of _____

\$ _____ for THE CONTRIBUTION CHARGES DUE AT THE TIME THIS AGREEMENT IS APPROVED BY THE CITY COMMISSION.

PART III. - MUTUAL COVENANTS

A. EXCLUSIVE RIGHTS OF CITY

CITY shall have the exclusive right to furnish water service to consumers within the PROPERTY covered by this Agreement. Notwithstanding anything to the contrary, the CITY's duties and obligations, as set forth herein, shall be subject to the CITY having adequate water capacity to serve the PROPERTY. The City shall have the sole authority and discretion to determine its water capacity and its ability to serve the PROPERTY pursuant to this Agreement.

B. WELLS PROHIBITED EXCEPT FOR IRRIGATION

OWNER, his successors and assigns, and the owners and occupants of buildings on OWNER'S PROPERTY shall not install or maintain any water wells except for irrigation purposes. These wells shall not be connected to any potable water system.

C. PROMULGATION OF REASONABLE RULES OF SERVICES

CITY shall have the right to promulgate, from time to time, reasonable rules and regulations relating to the furnishing of water service to consumers within the PROPERTY encompassed by this Agreement. Such rules and regulations may relate to, but are not limited to, rates, deposits, and connection charges and the right to discontinue services under certain conditions. OWNER hereby acknowledges and agrees that rates are subject to change at any time by CITY. The OWNER shall be subject to all local, state and federal ordinances, rules and regulations applicable to the services provided by the CITY, including, but not limited to, Chapter 19 and Chapter 25 of the CITY's Code of Ordinances, as may be amended from time to time.

D. CITY NOT LIABLE FOR OWNER'S OR CONSUMER'S PROPERTY

CITY shall not be liable or responsible for maintenance or operation of any pipes, pipelines, valves, fixtures or equipment on any of the properties of the customers, consumers or users on OWNER'S PROPERTY other than the water service lines within granted easements to CITY pursuant to this Agreement. In the event that CITY cannot provide sufficient water service as a result of the actions of any regulatory agency, then CITY'S sole obligation shall be to refund OWNER'S contribution charges as described in this Agreement.

E. OWNER'S RESPONSIBILITY

CITY shall provide one water line to the property and install a meter. Immediately upon installation of the meter, billing of base charges as well as applicable commodity charges will commence. OWNER is responsible to connect house lines to meter.

F. EFFECTIVE DATE

Unless otherwise specified in this Agreement, this Agreement shall not be binding until fully executed, but once executed, it shall have a retroactive effect commencing from the date of the City Commission Meeting at which it was approved.

G. SYSTEM ON CONSUMER'S PROPERTY TO BE KEPT IN GOOD WORKING CONDITION

Each consumer of water service on OWNER'S PROPERTY shall keep all water pipes, service lines, connections and necessary fixtures and equipment on the premises occupied by said consumer, and within the interior lines of the lot occupied by the consumer in good order and condition. The sale of water by CITY to the consumer shall occur at the consumer's side of the entire meter installation, but the obligation for the maintenance of the lines shall be as set forth above and applicable to CITY regulations.

H. DISCLAIMER

Any temporary cessations or interruptions of the furnishings of water to the PROPERTY described herein, irrespective of duration, at any time caused by an Act of God, fires, strikes, casualties, accidents, power failures, necessary maintenance work, breakdowns, damage to equipment or mains, civil or military authority, riots or other cause beyond the control of CITY shall not constitute a breach of the provisions contained herein nor impose any liability upon CITY by OWNER, his successors and assigns.

I. SEVERABILITY

If and section, subsection, sentence, clause, phrase or portion of this Agreement is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining hereof.

J. RECORDING OF AGREEMENT

The provisions of this Agreement shall run with the land and be binding upon and inure to the benefits of successors to title to the property. This Agreement shall be recorded by CITY among the Public Records of Broward County, Florida, for the particular purpose of placing all owners or occupants of properties in OWNER'S PROPERTY connected to or to be connected to said water system of CITY upon notice of each and every one of the provisions herein contained to the same extent and with the same force and effect as if said owners and occupants had joined with the parties to this Agreement in the execution thereof; and the acquisition or occupancy of real PROPERTY in OWNER'S PROPERTY connected to or to be connected to said water system of CITY shall be deemed conclusive evidence of the fact that the said owners or occupants have consented to and accepted the Agreement herein contained and have become bound thereby.

K. HOLD HARMLESS PROVISION

It is mutually agreed that CITY shall be indemnified and held harmless by the OWNER from any and all liability for damages if CITY'S obligations under this Agreement cannot be fulfilled as a result of any ruling or order by any other governmental or regulatory agency having jurisdiction over the subject matter hereof; and in such event, this

Agreement shall be null and void and unenforceable by either party regarding that portion of the OWNER'S PROPERTY for which CITY cannot perform its obligation.

L. ATTORNEY'S FEES FOR LITIGATION

The parties agree that in the event that it becomes necessary for any party to this Agreement to litigate in order to enforce its rights under the terms of this Agreement, then, and in that event, the prevailing party shall be entitled to receive from the non-prevailing party reasonable Attorney's fees and the costs of such litigation, including appellate proceedings.

PART IV - NOTICE

Whenever either party desires to give notice to the other, it shall be given by written notice, sent by prepaid certified United States mail, with return receipt requested, addressed to the party for whom it is intended, at the place specified as the place for giving of notice, which shall remain such until it shall have been changed by written notice in compliance with the provisions of this paragraph. For the request, the parties designate the following as the respective places for the giving of notice:

FOR THE CITY OF COOPER CITY

City Manager
9090 S.W. 50th Place
Cooper City, Florida 33328

FOR THE OWNER

Andy Shi

FOR THE TOWN OF _____

Notice so addressed and sent by prepaid certified mail, with return receipt requested, shall be deemed given when it shall have been so deposited in the United States mail.

PART V - ADDITIONAL PROVISIONS

A. EXHIBITS

The following exhibits are attached, as part of this Agreement and are incorporated into this Agreement:

EXHIBIT "A" – Legal Description of PROPERTY

EXHIBIT "B" – A copy of the site plan of the PROPERTY reduced to 8 ½ by 14" page size.

IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed on the day and year indicated below:

Signed, sealed and delivered
in the presence of:

THE CITY OF COOPER CITY

ATTEST:

BY: _____

MAYOR GREG ROSS

DATE: _____

CITY CLERK

Approved as to legal form:

CITY ATTORNEY

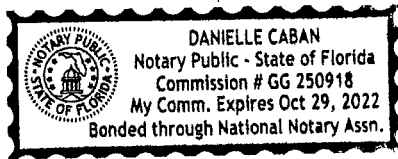
STATE OF FLORIDA)
COUNTY OF BROWARD) SS

BEFORE ME personally appeared Andy Shi to me well known and known to me to be the person (s) described in and who executed the foregoing instrument, and acknowledged to and before me that Andy Shi Drivers License executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal, this 2nd day of February, 2022.

Danielle Caban
NOTARY PUBLIC STATE OF FLORIDA

My commission expires:



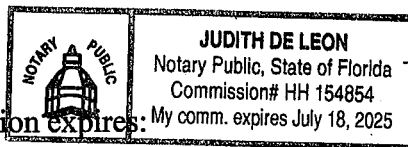
OWNER

BY: Andy Shi
DATE: 01/28/2022

STATE OF FLORIDA)
COUNTY OF BROWARD)

BEFORE ME personally appeared Andy Shi to me well known and known to me to be the person(s) described in and who executed the foregoing instrument, and acknowledged to and before me that FL DL executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal, this 28 day of Jan, 2022.



My commission expires:

Judith De Leon
NOTARY PUBLIC STATE OF FLORIDA

Signed, sealed and delivered
in the presence of:

THE TOWN OF

ATTEST:

BY: _____
MAYOR _____
DATE: _____

CITY CLERK

Approved as to legal form:

CITY ATTORNEY

STATE OF FLORIDA)
COUNTY OF BROWARD) SS

BEFORE ME personally appeared Andy Shi to me well known and known to me to be the person (s) described in and who executed the foregoing instrument, and acknowledged to and before me that Andy Shi Drivers License. executed said instrument for the purposes therein expressed.

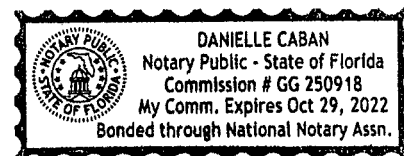
WITNESS my hand and official seal, this 2nd day of February, 2022.

Danielle Caban

NOTARY PUBLIC STATE OF

FLORIDA

My commission expires:



This page
intentionally left blank

REGULAR MEETING MINUTES OF THE TOWN COUNCIL
Southwest Ranches, Florida

Thursday 7:00 PM

January 27, 2022

13400 Griffin Road

Present:

Mayor Steve Breitkreuz

Andrew Berns, Town Administrator

Vice Mayor Gary Jablonski

Russell Muñiz, Assistant Town Administrator/Town Clerk

Council Member Jim Allbritton

Martin D. Sherwood, Town Financial Administrator

Council Member Bob Hartmann

Keith Poliakoff, Town Attorney

Council Member David S. Kuczenski

Regular Meeting of the Town Council of Southwest Ranches was held at 13400 Griffin Road in the Southwest Ranches Council Chambers. The meeting, having been properly noticed, was called to order by Mayor Breitkreuz at 7:02 PM. Attendance was noted by roll call and was followed by the Pledge of Allegiance. Council Member Hartmann participated by phone.

3. Proclamation for Mayor's Monarch Pledge Day

The Mayor read the proclamation into the record.

4. Public Comment

The following members of the public addressed the Town Council: Newell Hollingsworth, Joe Altschul, Ruben Alen, George Cailis, James Krueger, William Greffe, and John Wegmann.

5. Board Reports

George Morris, Chair of the Drainage and Infrastructure Advisory Board, spoke. He advised there wasn't a January board meeting due to a scheduling conflict. Next he spoke about types of replacement grass the Board had discussed and decided based on factors, such as drought tolerance.

George Morris also spoke on behalf of the Aster Knight Parks Foundation regarding the Country Carnival that took place January 13-16, 2022. He provided an update, along with photos and a video and thanked the Town Council and staff for their support.

6. Council Member Comments

Vice Mayor Jablonski spoke about the Country Carnival and now that the 5-acre land is being utilized, he stated it might be time to construct a bathroom pavilion with septic tanks and electricity. It could satisfy State grant requirements when seeking additional funding. He asked if a motion needed to be made and a discussion ensued. There was a consensus among the Town Council to move forward and start investigating the aspects of constructing the pavilion. Vice Mayor Jablonski asked Town Administrator Berns to petition Broward County to erect bollards at SW 148th Avenue and Griffin Road, near the Shell Station. The location needs to be blocked off so no-one can cut through. He advised there is an article in the Town Newsletter that explains the Dark Sky ordinance that is in effect in the Town. He spoke about upcoming events in the Town such as the March 12th Schools and Education Advisory Board Barn Dance, Hazmat at the Barn also on March 12th, the Sikh Youth Association Unity in Diversity 5K Run/Walk that was

rescheduled to April 9th and the Easter Bunny coming to the Rolling Oaks Barn for the annual egg hunt on April 2nd. He then spoke about a conversation he had with Code Enforcement Director Julio Medina about reactive and proactive code reporting. Vice Mayor Jablonski asked him to identify one or two common violations that could be placed in the proactive reporting category to which Code Enforcement Director Medina stated, work without a permit and storage containers which covers about 80 to 90 percent of the code calls his department receives. Vice Mayor Jablonski asked the Town Council their thoughts and opinions on the topic. Mayor Breitzkreuz agreed the code issues identified are the ones with the most issues, however he would like to investigate imposing different types or restrictions or regulations for them. Vice Mayor Jablonski requested the Town Council enact a zoning in progress for land use and rezoning, so the Town Council can control the timeline and requirements that may go with it.

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO ACCEPT A ZONING IN PROGRESS FOR A PERIOD OF SIX MONTHS FOR ANY PROPERTIES REZONED FROM NON-RESIDENTIAL USE TO RESIDENTIAL USE AND PLACE A RESOLUTION FOR TOWN COUNCIL CONSIDERATION AT THE FEBRUARY 10, 2022 MEETING.

Last, Vice Mayor Jablonski formally announced his intent to run for re-election for the District 2 Town Council seat.

Council Member Hartmann congratulated the Aster Knight Parks Foundation for the success of the first carnival held in Southwest Ranches. He also thanked the residents that came to the meeting and expressed their concerns about the drainage and paving projects and hoped their questions were answered.

Council Member Allbritton thanked the Green Meadows residents that came to the meeting and he asked them to contact him in the upcoming weeks to speak about reinstating the Green Meadows Association and having a Zoom Meeting once a month. Next he stated it was an honor to represent the Town during his attendance at Broward Days in Tallahassee with the Town Council, Vice Mayor and Mayor. Council Member Allbritton spoke about the street signs being pulled up in Southwest Ranches and he spoke with Community Services Manager Emily Aceti and they are investigating what is happening. His personal slow down signs are also missing. Last, he announced the first meeting of the Public Safety and Traffic Committee on February 1, 2022 and he encouraged attendance from the residents.

Council Member Kuczenski spoke about the Sunshine Ranches HOA and how it first started. He advised Council Member Allbritton that communication is very important and having a vehicle, such as a mailer or a newsletter is a great start. He thanked a resident for expressing his opinion regarding home valuations and wetland determinations. He spoke about supporting the transition of the two most common code complaints from reactive to proactive. Council Member Kuczenski announced he is running for re-election and stated Council Member Hartmann was running for re-election as well. He addressed the issue of campaign signs being placed on properties without

advising the property owners and he would like to explore solutions. He spoke about the TSDOR project on Holatee Trail and he was glad to see it starting. He would also like to see SW 55th Street over to Hunter Lane if there is more federal funding available. Council Member Kuczenski spoke about the previous night's Sunshine Ranches HOA meeting and topics that were discussed. One of the topics that stood out involved new residents of Southwest Ranches and not knowing about the Town's Code of Ordinances that keep the Town's rural lifestyle such as the Dark Sky ordinance. Last, he spoke about Broward Days in Tallahassee and topics that are important to the Town and Town Council such as the statewide fireworks law. The Town tried to make an exception that would allow the Town to prohibit the use of fireworks; however, the Town Council found out the issue did not get approved, but Council Member Kuczenski stated he and the rest of the Town Council will not give up on the prohibition of fireworks within the Town of Southwest Ranches. Mayor Breitkreuz advised the Town Council is formulating a new ordinance or proposal for next year's Legislative Session and get other rural and equestrian communities to back the issue as well. Another Town issue that was discussed in Tallahassee was the lack of a fire station on the west side of Town that Council Member Kuczenski tried to champion, but the funding was not available to the Town. He also spoke about Bill CS/CS/SB 280 Regarding Local Ordinances that has already passed the Florida Senate and is pending in the House for approval which he feels is dangerous to local governments such as the Town.

Mayor Breitkreuz praised the Davie Police Department's "Extra Watch" program that residents can sign up for when they will be on vacation. A Davie police officer will make every effort to drive by the residence while the residents are away. He stated the Town is very fortunate to have the Davie Police Department for law enforcement and protection of the Town. Mayor Breitkreuz felt the Town needed better lines of communication with realtors, new residents and developers to make sure they understand the Town's ordinances. He is working with Andy on a document that will advise people our community. He congratulated Senior Procurement and Budget Officer Venessa Redman on obtaining her Certified Professional Public Buyer certification. Last, Mayor Breitkreuz spoke about supporting the Town of Davie's proposal for a no left turn at east Sheridan Street and SW 148th Avenue/Volunteer Road as it aligns with the Town's stance as well. Town Attorney Poliakoff asked the Mayor to allow him to draft a resolution supporting the Town of Davie's plan.

Mayor Breitkreuz requested that due to the late hour and being that a representative from the Broward County Board of Rules and Appeals was on hand, that item 10 be moved out of order.

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Hartmann and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitkreuz voting yes.

MOTION: TO MOVE ITEM 10 AHEAD OF LEGAL AND ADMINISTRATIVE COMMENTS AND ITEM 9 IN THE MEETING ORDER.

Resolution

10. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE ISSUANCE OF A PURCHASE ORDER IN AN AMOUNT NOT TO EXCEED FIFTEEN THOUSAND DOLLARS AND ZERO CENTS (\$15,000.00) TO ADVANCED KIOSK FOR A SELF-SERVICE LOBBY KIOSK; APPROVING A FY 2021-2022 BUDGET ADJUSTMENT FROM THE GENERAL FUND; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO ENTER INTO AN AGREEMENT; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Council Member Hartmann, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION.

7. Legal Comments

There were no legal comments.

8. Administration Comments

Town Administrator Berns offered his congratulations to Senior Procurement and Budget Officer Venessa Redman on obtaining her Certified Professional Public Buyer certification and he looks forward to working with her on future improvements to the procurement process.

Ordinance – 1st Reading

9. AN ORDINANCE OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, AMENDING ALL SECTIONS OF THE TOWN OF SOUTHWEST RANCHES' PROCUREMENT CODE, CODIFIED IN THE TOWN'S CODE OF ORDINANCES, INCLUDING TO MODIFY THE PURCHASING THRESHOLDS; BRINGING THE PROCUREMENT CODE INTO CONFORMITY WITH RECENTLY ENACTED 2 CFR 200 FEDERAL REGULATIONS, STATE STATUTES AND BROWARD COUNTY CODE; TO PROVIDE AUTHORIZATION FOR THE USE OF ELECTRONIC TRANSMISSIONS; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE TOWN'S CODE OF ORDINANCES; AND PROVIDING FOR AN EFFECTIVE DATE. {Second Reading to be held February 10, 2022}

The following motion was made by Vice Mayor Jablonski and seconded by Council Member Hartmann and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE ORDINANCE.

Resolutions

11. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING A PURCHASE ORDER PIGGYBACKING OFF OF THE CITY OF FORT LAUDERDALE'S AGREEMENT WITH E-SCIENCES INCORPORATED FOR ENVIRONMENTAL PERMITTING SERVICES IN THE AMOUNT OF TWENTY THOUSAND TWO HUNDRED EIGHTY DOLLARS AND ZERO CENTS (\$20,280.00) FOR THE TOWN'S ANNUAL REPORT REQUIRED BY THE

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) PERMIT NUMBER FLS000016-004; AUTHORIZING THE TOWN ADMINISTRATOR TO EXECUTE THE PURCHASE ORDER; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Council Member Hartmann, seconded by Council Member Allbritton and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION.

12. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, SUPPORTING THE ADVANCEMENT OF THE GREEN MEADOWS DRAINAGE PROJECT (SWRA-022) FOR BROWARD COUNTY TRANSPORTATION SURTAX PROGRAM FUNDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS DEEMED NECESSARY TO HELP EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING FOR AN EFFECTIVE DATE.

The following motion was made by Council Member Allbritton seconded by Vice Mayor Jablonski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION.

13. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING AN AGREEMENT WITH NEWGEN STRATEGIES AND SOLUTIONS LLC IN AN AMOUNT NOT TO EXCEED OF FORTY-NINE THOUSAND SIX HUNDRED SIXTY-EIGHT DOLLARS AND ZERO CENTS (\$49,680.00) FOR DRAFTING OF THE SOLID WASTE REQUEST FOR PROPOSAL SPECIFICATIONS INCLUDING RECYCLING, COLLECTION, PROCESSING AND DISPOSAL SERVICES; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO ENTER INTO AN AGREEMENT; AND PROVIDING FOR AN EFFECTIVE DATE.

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION AND CORRECT A SCRIVENORS ERROR CORRECTING THE AMOUNT TO \$49,680.00.

14. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING AN AGREEMENT WITH BACALLAO CONSTRUCTION & ENGINEERING DEVELOPMENT, LLC (BC&E) IN THE AMOUNT OF FIVE HUNDRED SEVENTY-SEVEN THOUSAND THREE HUNDRED NINETY-THREE DOLLARS AND FORTY-TWO CENTS (\$577,393.42) TO COMPLETE THE HANCOCK ROAD GUARDRAIL IMPROVEMENTS, AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO ENTER INTO AN AGREEMENT; APROVING

A BUDGET AMENDMENT TO THE FISCAL YEAR 2021-2022 ADOPTED BUDGET; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION.

15. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE FIRST AMENDMENT TO MEMORANDUM OF UNDERSTANDING WITH BROWARD COUNTY AND OTHER PARTICIPATING MUNICIPALITIES REGARDING COLLABORATIVE STUDY AND SUBSEQUENT DEVELOPMENT OF AN INTEGRATED SOLID WASTE AND RECYCLING SYSTEM, ATTACHED HERETO AS EXHIBIT "A" AND INCORPORATED HEREIN, AND AUTHORIZING THE PROPER TOWN OFFICIALS TO EXECUTE; AUTHORIZING THE EXPENDITURE OF FUNDS; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Council Member Kuczenski, seconded by Council Member Allbritton and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION.

16. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING A CHANGE ORDER TO THE AGREEMENT WITH WEEKLEY ASPHALT PAVING, INC. IN THE AMOUNT OF SEVENTY-TWO THOUSAND NINE HUNDRED FIFTY-FOUR DOLLARS AND ZERO CENTS (\$72,954.00) TO COMPLETE THE BROWARD COUNTY SURTAX FUNDED TRANSPORTATION SURFACE DRAINAGE AND ONGOING REHABILITATION OF SW 128TH AVENUE, SW 130TH AVENUE (MELALEUCA ROAD), SW 133RD AVENUE, SW 135TH AVENUE (LUPO LANE), AND SW 136TH AVENUE (HOLATEE TRAIL) (BC-SWRANCHES-FY2020-00003); AUTHORIZING THE TOWN ADMINISTRATOR TO AMEND THE PURCHASE ORDER; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Council Member Kuczenski, seconded by Vice Mayor Jablonski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE THE RESOLUTION.

- 17. ANNUAL REVIEW OF CHARTER OFFICIALS**
- a. Andrew Berns**
 - b. Russell Muñiz**
 - c. Martin Sherwood**

17a

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes.

MOTION: TO APPROVE A \$9,500.00 BONUS FOR TOWN ADMINISTRATOR ANDREW BERNES

17B

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes

MOTION: TO APPROVE AN INCREASED SALARY OF \$135,600.00 ALONG WITH A SIGNED 3 YEAR CONTRACT RETROACTIVE TO JANUARY 1ST, 2022 FOR ASSISTANT TOWN ADMINISTRATOR/TOWN CLERK RUSSELL MUÑIZ.

17C

The following motion was made by Council Member Allbritton, seconded by Council Member Kuczenski and passed by a 5-0 roll call vote. The vote was as follows: Council Members Allbritton, Hartmann, Kuczenski, Vice Mayor Jablonski and Mayor Breitzkreuz voting yes

MOTION: TO APPROVE AN \$8,750.00 BONUS FOR TOWN FINANCIAL ADMINISTRATOR MARTIN SHERWOOD.

Final Administration Comments

Town Administrator Berns thanked the Town Council for their organization, cohesiveness and respectfulness, he thanked Town Attorney Poliakoff for the working relationship he has with the Town, he thanked Town Staff, he thanked Town Financial Director Sherwood for his expert knowledge and genuine caring of the Town and last, he thanked Assistant Town Administrator/Town Clerk Muñiz for everything he does and the Town is in good hands.

Adjournment

Meeting was adjourned at 11:07 p.m.

Respectfully submitted:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Adopted by the Town Council on this 24th day of February, 2022.

Steve Breitreuz, Mayor

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.